



Town of Qualicum Beach

Village Design Guidelines



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Introduction

Owners, designers, and developers are encouraged to use creative design freedom within the limits of retaining the village character.

Since 1974, the Town of Qualicum Beach has been involved in an ongoing program of uptown beautification. In December 1993 a Downtown Revitalization Concept Plan was completed by Cultural Management Consultants. A Downtown Revitalization Committee (DRC) comprised of local citizens was formed. Five DRC subcommittees provided ideas for signs, landscaping, utilities, squares and urban design.

Building on these recommendations, the Town commissioned the Village Design Guidelines to help revitalize the main uptown core and to set design standards for new and infill construction. The Town refers to these guidelines when reviewing applications for new buildings or renovations of existing buildings.

The Town now refers to the commercial core as “uptown” rather than “downtown” to more accurately relate its location to the waterfront.

To meet Development Permit requirements, you will generally be expected to follow these guidelines.



Purpose of the Guidelines

The purpose of the Design Guidelines is to protect, preserve and enhance the village character of Qualicum Beach. The elements of this approach are to:

- **Preserve and revitalize existing buildings** in the main commercial core;
- **Set design standards for quality development of new and infill buildings** in keeping with the historic village character;
- **Encourage public and private landscaping** to maintain the pleasant pedestrian, garden-like environment of uptown;
- **Guard against inappropriate designs**, such as modern "big city" or suburban mall style developments that detract from the scale and character of the village

Who Should Use the Guidelines?

Property Owners and Merchants

- to revitalize existing buildings;
- to make design decisions in keeping with the village character;
- to visualize & stimulate design ideas.

Designers and Developers

- to give notice regarding expectations for acceptable design standards;
- to shape and provide a visual roadmap for future development.

Town of Qualicum Beach

- to set standards for design reviews and development permit applications;
- to serve as a reference document for policy-making;
- to append design guidelines to the Official Community Plan

How to Use the Guidelines

This document is organized as follows:

VILLAGE CHARACTER
describes the special qualities and elements of uptown.

REVITALIZATION BASICS
Getting stand on revitalization.

GENERAL GUIDELINES
Planning guidelines that apply to all properties in the area.

BUILDING GUIDELINES
Specific building guidelines for existing, new and infill buildings.

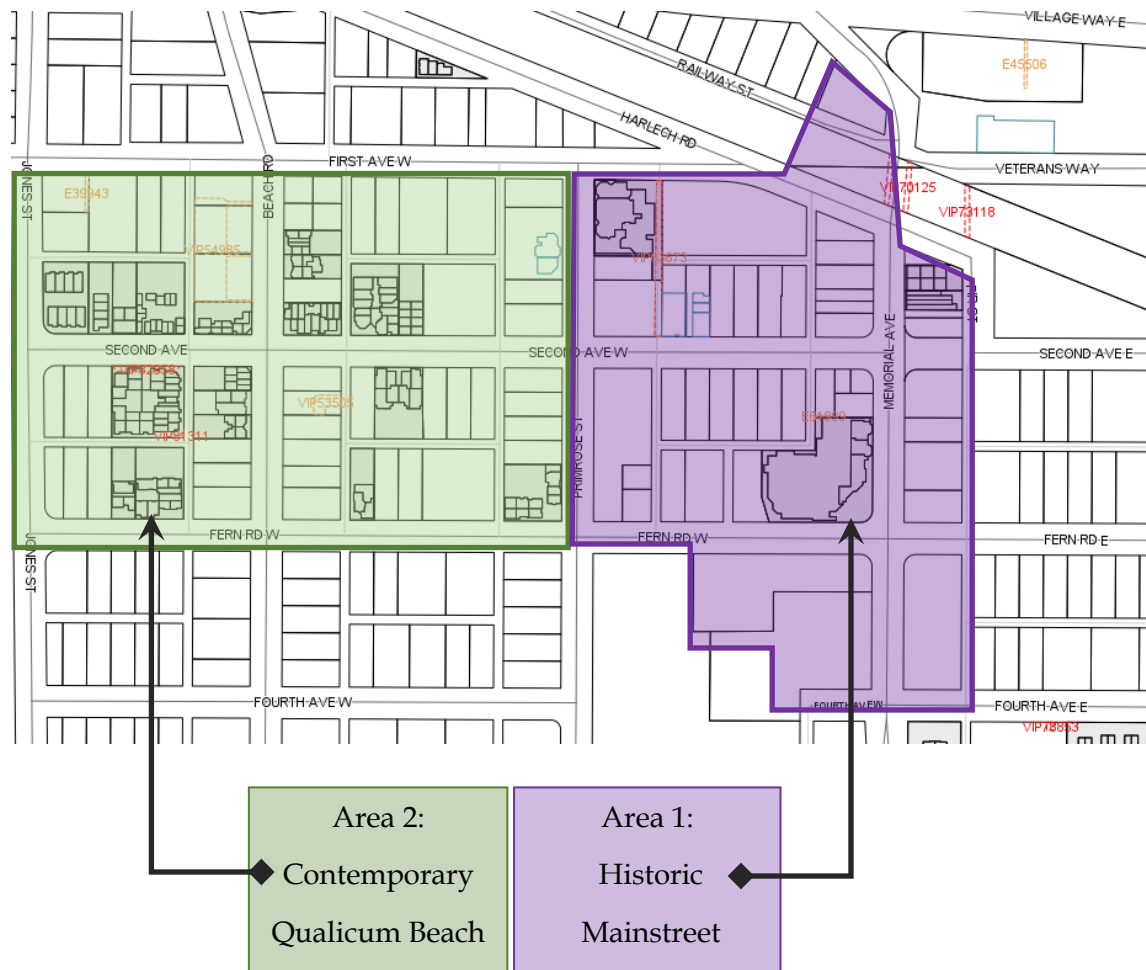
Colour Design Concept

Follow these Steps:

1. Determine whether your building is an existing, new or infill project.
2. Review this document, particularly the parts that pertain to your building type.
3. Consult with Planning staff at the Town of Qualicum Beach.

BOUNDARIES OF AREA 1: HISTORIC MAINSTREET AND AREA 2: CONTEMPORARY QIJALICUM BEACH

Historic and contemporary areas are divided to the east and west of Primrose Street.





Village Character

The unique village character of Qualicum Beach is distinguished by its beautiful natural setting, quiet walkable small-town atmosphere, abundant and orderly landscaping, consistent low-scale streetscape, and blending of building styles.

Historic Roots

The physical development of the commercial core tells the story of Qualicum Beach. Downtown buildings and architectural styles reflect the town's history: from its beginnings as an industrial town site, to its evolution as a residential community and resort destination, to its emergence as a distinguished retirement and resort community noted for its quality arts and boutique stores.

Uptown Qualicum Beach began as a small town site with the construction of the Bunting Store in 1910. Settled on top of the ridge overlooking the beach, the town site developed along the E & N Railway line. In its early years, the town site had three sawmills, and served as a communication and transportation link between the Dunsmuir coal mining sites of Nanaimo and Cumberland.

Because of its great natural beauty, Qualicum Beach attracted a growing number of residents and vacationers. By 1914, the Railway Station, Qualicum Beach Hotel, and golf course were built, firmly establishing Qualicum Beach as a destination community.

Through the 1920s to 1950s, Qualicum Beach developed as a residential, resort, and recreation community. The town's early Industrial roots faded as inns and lodges, hotels and motels, camps and cottages sprang up along the lower beach area, together with large summer and retirement homes.

From the 1950s to the present, Qualicum Beach became known as a retirement community and resort destination. Downtown experienced modest growth to accommodate seasonal and year-round residents. A shift began in the 1970s when a Beautification Committee developed a vision for the downtown that would preserve the village character and bring in compatible business.

Selecting Carmel, California, as a model, the Town began to focus on developing an active arts community. This dream became a reality in 1988 with the reopening of the restored 1914 Old School House as a community arts centre.

Since that time, the commercial core has entered a new era and the Town has attracted quality development in the area west of Primrose Street. Mixed residential and commercial buildings have flourished. Numerous boutiques, specialty, and arts stores have given Qualicum Beach a new flavour.

In the midst of this change, strong efforts have been made by residents to ensure that the historic village character is not lost in the wave of new development. Countless hours have been spent by caring residents to revitalize the uptown area, and to play a key role in planning its future

Qualicum Beach Building Styles

The downtown area features a mix of low-scale wood-frame commercial and residential buildings representing various architectural periods. Building styles are generally representative of twentieth century small-town west coast commercial architecture.

1910 -
1915

- concentration on Memorial Avenue
- styles typical of pre W.W. I west coast
- simple 1-2 storey wood-frame
- horizontal wood cladding
- fine wood detailing
- false parapets
- influenced by Craftsman forms and detailing



1920 -
1950

- primarily on Memorial and Second
- 1-2 storey wood-frame
- utilitarian commercial buildings
- stucco or wood cladding
- plain detailing
- flat roof forms



1960 -
1980

- mix of styles throughout downtown
- 1-2 storey wood-frame structures
- building forms somewhat articulated
- rougher wood detailing
- "West-Coast" style brick, cedar shakes
- 1970s Tudor theme-dark cedar trim and mansard roofs



1990 -
Present

- located mainly west of Primrose
- 1-3 storey wood-frame structures contemporary modern styles
- stucco and wood cladding
- building forms more highly articulated
- detailing varies from streamlined to ornamental
- roof forms vary from flat to complex shapes



Area 1: Historic Mainstreet

The historic mainstreet is located on Memorial Avenue and Second Avenue east of Primrose Street. Once called "Main Street," this is the original town site and the heart of the village.

As the traditional business core, the area continues to provide the town's basic services such as retail shops, offices, bakeries, restaurants, banks, grocers, gas station, and the Town Hall.

The streetscape has remnants of the original character of the town site, plus various building styles from different decades, including 1940s utilitarian, Tudor, and West Coast modern.

Little natural landscaping remains, but the laneway system, sidewalk trees, planters, street furniture, and garden areas provide a small-town ambience.



The historic streetscape is characterized by a consistent visual rhythm:

- Low-scale wood-frame construction
- even parapets and rooflines
- flat, stepped, sloped, or gable-end parapets
- gable, hip, or flat roofs
- no setbacks
- adjoining façades
- recessed entries
- open storefronts
- upper storeys lined up
- generally flat façades (not heavily articulated)
- simple forms and ornamentation
- predominantly stucco and wood finishes
- traditional detailing on heritage buildings



Challenges

- Vacant tenancies
- Older buildings in need of repair
- Some buildings inappropriately altered
- Styles not integrated
- Some disharmony of materials
- Lack of quality design
- Inappropriate design of add-on canopies
- Random colours
- Uncoordinated appearance of signs
- Increased traffic

Area 2: Contemporary Qualicum Beach

The character of the core shifts dramatically west of Primrose Street. This newer area was developed in the last three decades as an extension to the commercial core.

Contemporary Qualicum Beach is characterized by an informal mix of uses, landscaping, building forms, styles, and design:

- low-scale wood-frame construction
- contemporary designs
- mixed residential and commercial
- quality boutiques
- quality design and materials
- detached or semidetached buildings
- varying setbacks
- predominantly stucco or wood cladding and trim
- 3-dimensional roofs; few flat roofs and parapets
- balconies
- light pastel colours
- mature trees and landscaping

In contrast to the historic mainstreet, contemporary Qualicum Beach has a mix of residential and commercial uses. These include older single family dwellings, new apartment buildings and condominiums, together with new stores, boutique-style retail stores, restaurants, and professional offices.

Building forms are generally more complex, residential, and suburban in character with more elaborate rooflines such as gable, gambrel, hip and variations with dormers. Building façades are more articulated with bay windows, balconies, recesses, built-in planters, courtyards, etc.

Whereas historic mainstreet has a series of individual buildings that are connected to form a streetscape, this area has larger developments that are detached but are designed to look like a connected streetscape (e.g., Chilham Village, High Gate).

Newer developments also show the influence of the building code and local bylaws on design features, such as firewalls, setbacks, corner setbacks, and 20% landscaping requirements.

The area maintains the same low-scale feel as the historic core, but is not as consistently developed. Undeveloped lots, laneways, landscaped corners, side yards, rear yards, and parking areas give the area a green and spacious feel. New sidewalks, stamped concrete, paved patios, and courtyards provide hard landscaping on public and private property.

Challenges

- May lose village character by becoming too polished
- 'Trendy' designs risk becoming dated
- 'Block-like' modern styles don't fit in
- Some styles appear haphazard (Tudor next to contemporary)
- Complex forms difficult to maintain
- Setbacks can make storefronts distant from sidewalk
- Loss of natural landscaping



General Guidelines

Preserve the Village Character

Designs for all downtown buildings should be consistent with the small-scale, informal, boutique-style, landscaped village character of Qualicum Beach.

General Guidelines give an overview for: heritage buildings, renovations and additions, and new and infill buildings. Building Design Guidelines provide more detailed guidelines for all downtown building types. Depending on your situation, the following approaches are recommended:

Restore - heritage buildings

Renovate - existing buildings

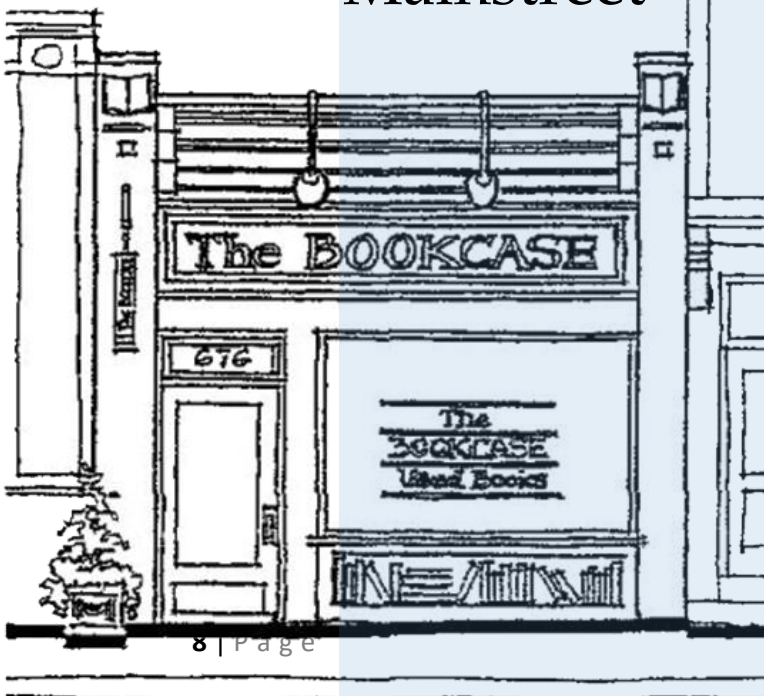
Compatible Design - new and infill buildings

Maintain the Historic Mainstreet

The character of Area 1: Historic Mainstreet should be maintained in the design of existing, new, and infill buildings. General design principles include maintaining:



- ✓ integrity of historic building styles and details;
- ✓ consistent scale, visual rhythm, and proportions with existing buildings;
- ✓ front setback lined up with adjacent buildings
- ✓ flat roofs with stepped or sloped parapets for 1 to 2 storey buildings;
- ✓ sloped roof forms for three-storey buildings;
- ✓ traditional proportions for storefronts and upper storeys;
- ✓ wood windows with traditional proportions and wood cladding;
- ✓ quality materials and natural earth tone colours;
- ✓ signs, canopies, awnings, and lighting as appropriate to accent building design.



General Guidelines

Heritage Building

Original town site buildings should be restored or renovated in an historically-accurate manner using original design features, materials, colours, etc., wherever feasible.

Designers are encouraged to consult historic photographs or building catalogues to obtain design information that is authentic to Qualicum Beach and the original Townsite. Original town site buildings still standing include:

- 1910 **Bunting General Store** (The Book Case)
- 1912 **Gaffney Store** (Sawmill Restaurant)
- 1924 **West 2nd Avenue** (Thrall House)

Building Style and image

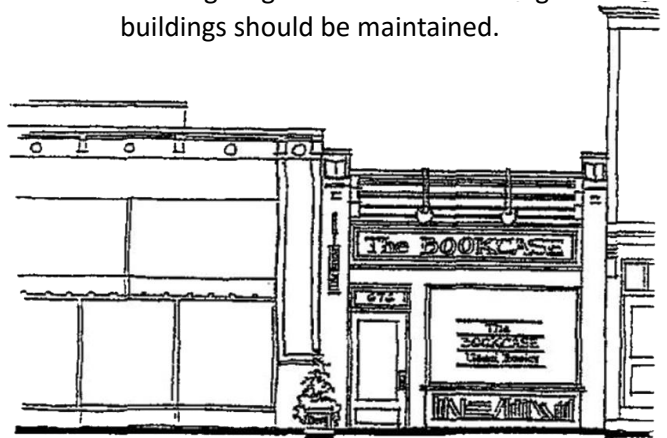
Restoration should respect the integrity and intent of the original design.

- Existing original design features should be repaired or restored.
- Lost or removed details should be restored or reconstructed wherever feasible.
- Historically inappropriate features such as rock work, applied stucco and siding, sign boxes, etc, should be removed.



Height and Width

- Existing height and width of heritage buildings should be maintained.



Proportions

- The proportions of original design elements such as rooflines, floor levels, storefronts, upper storey windows should be restored.



Setbacks

- Existing setbacks of heritage buildings should be maintained, particularly at the street.
- Storefront entries should be recessed to permit doors to swing out without obstructing the sidewalk.



Roof Forms

- Original roof forms should be restored if feasible, generally flat or gable roofs with stepped or sloped parapets.
- Parapet, cornice, and fascia band ornamentation should be restored.



Ground Level

- Storefronts should be restored or renovated to approximate the original design style.
- Storefront windows should be constructed with wood sashwork and joinery; bulwarks should be faced with wood.
- Storefront planters and signs are encouraged.



Upper Storeys

- Upper storeys should be restored to their original appearance wherever possible, including exterior cladding, windows, surrounds, trim, fascia bands, brackets, cornices, parapets, etc

Materials and Colour

- Authentic materials and quality craftsmanship should be used in restoration of heritage buildings, usually wood for structural elements, cladding, and finishes.
- New materials (or synthetic materials such as fibreglass moulds or patches) used in reconstruction should duplicate or match the original design.
- Natural and earth tone colours should be used on heritage buildings, maintaining original colours if possible. Authentic historic colours can be determined by archival research or by scraping down to the original paint layers.



Awnings and Lighting

- Only retractable awnings in character with the building style should be used. Hard canopies are historically inappropriate for heritage buildings in Qualicum Beach.
- Simple ornamental lighting (such as a gooseneck style lamp) is encouraged to highlight architectural features and to provide sidewalk illumination.
- Lighting should be incandescent; high-intensity fixtures should not be used

Renovations and Additions to Existing Buildings

Renovations and additions to existing buildings should be consistent with the building style and should enhance the village character.

The purpose of renovation should be to revitalize and improve an existing building. The design integrity of traditional storefronts, doors, windows, fascia bands, cornices, parapets, and architectural ornamentation should be maintained or restored in any alterations or additions. Contemporary styling can be added through colour, signs, details, lighting, etc.

Additions may be in the form of building extensions or construction of extra storey(s) on top of the existing structure. In either case, additions should blend in with existing building design and details.

Height and Width

- Massing of building extensions or infill construction should be in keeping with the scale of neighbouring buildings.



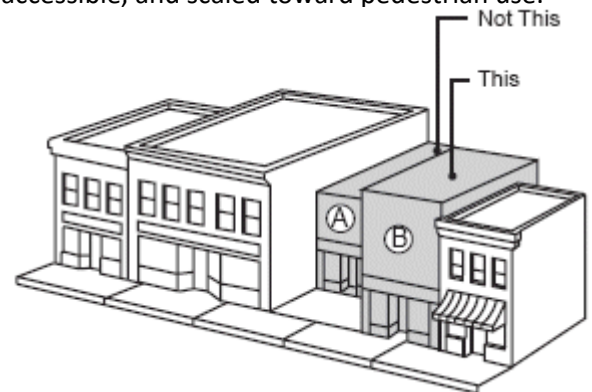
Proportions

- The proportions of height to width, rooflines, floor levels, storefronts, and upper storey windows of existing buildings should be respected.



Setbacks

- Renovations and additions should have a relationship with the street consistent with neighbouring buildings.
- Corner setbacks should be based on a 4.5 m sight triangle.
- Landscaped corners, courtyards, rear storefronts, and access to lanes and rear areas are strongly encouraged. Areas should be landscaped, accessible, and scaled toward pedestrian use.

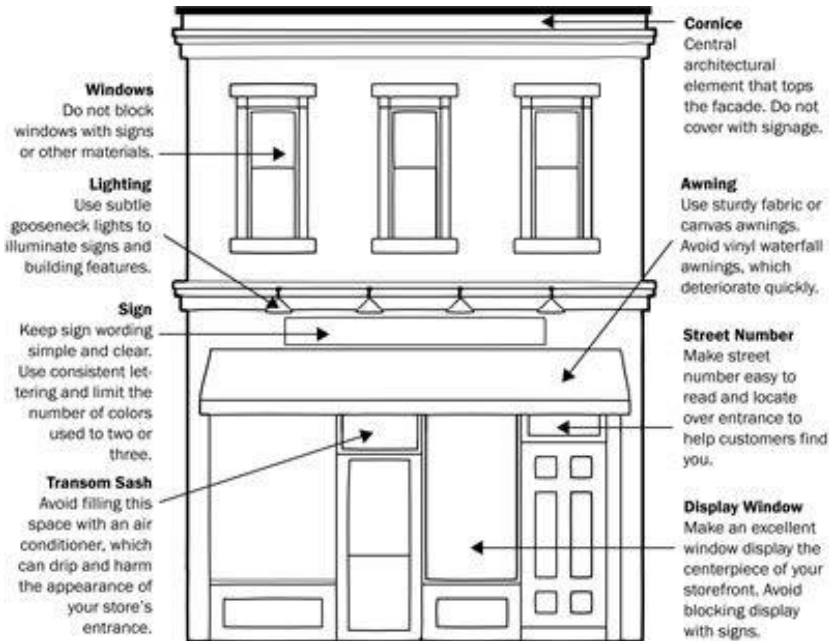


Roof Forms

- Roof forms should be integrated with the building style, particularly for the addition of new storey(s) to an existing building.
- Roof edges and drainage should be integrated into the roof design.

Ground Level

- Traditional style and proportioning of storefronts should be used for renovations and additions.
- Wooden sash windows are preferred; if metal windows are used they should approximate the proportions and detailing of wood.



Upper Storeys

- The composition and rhythm of design elements should maintain traditional patterns.
- Windows should maintain a strong relationship to storefront openings, upper storeys should generally maintain a 2:1 ratio of solid to void.
- Upper storey windows should be inset, not flush to the wall.
- Ornamentation consistent with the building style is encouraged, such as brackets, window surrounds, etc.

Materials and Colour

- Materials and colour should blend in with existing buildings.
- High-quality materials and construction techniques are strongly recommended; such as wood or quality stucco cladding.
- Natural and earth-tone colours are most appropriate.



Canopies, Awnings and Lighting

- Awnings, if appropriate, should respect the building style and the general character of other awnings on neighbouring buildings.
- Canopies are generally not appropriate for renovations or additions.
- Lighting should be used for safety purposes and to highlight architectural design elements. Avoid high intensity fixtures in favour of ornamental lighting.



New and Infill Buildings

Designers are encouraged to use creative designs, in keeping with the scale and image of the village character. New buildings should be consistent with existing buildings in terms of massing, height, setbacks, scale, roof shape, proportion of openings, materials, texture, and details.

Construction of new commercial buildings on vacant lots is encouraged. No particular style or theme is required for new buildings, but designs should fit in with village character.

Building Style and Image

- Building elements such as roofs, windows, and doors should be considered in relation to the design of the building as a whole. Designs can draw on traditional Qualicum Beach features, such as Craftsman or vernacular shingle style detailing.



- Avoid out-of-context, massive, "big city," overtly modern, mall-style or wide-building styles such as "Bavarian."

Height and Width

- Maximum three storeys in height.
- Buildings higher than three storeys may be considered for configurations that are compatible with adjacent buildings, accommodate view corridors from other developments, incorporate sustainability features, support pedestrian-scale design and maximize access to sunlight.
- New buildings should reflect the characteristic small-scale rhythm of facades on the street. Facade massing should be broken into a number of smaller bays or clustered designs if the site is large.

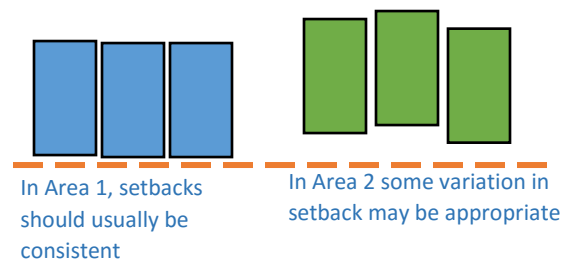
Proportions

- The proportions of height to width, rooflines, floor levels, storefronts, and upper storey windows of existing buildings should be respected.



Setbacks

- New façades should have a relationship with the street consistent with neighbouring buildings.



- Corner setbacks should be based on a 4.5 m sight triangle (2.0 m sight triangle at lane access).
- Landscaped corners, courtyards, rear storefronts, boutique-style clustering, and access to lanes and rear areas are strongly encouraged. Areas should be accessible, landscaped, and scaled for pedestrian use.

Roof Forms

- If a flat roof is used on a 3-storey building, the third storey should be integrated as a sloped roof form.



- Articulated sloped roof forms (such as gable, hip, dormers, etc.) are encouraged, particularly for buildings in Area 2: Contemporary Qualicum Beach.
- Roof edges and drainage should be integrated into the roof design.

Upper Storeys

- The composition and rhythm of elements, such as the size and proportion of windows and doors, should maintain traditional patterns. Upper storeys should generally maintain a 2:1 ratio of solid to void.
- Windows, balconies, and bay windows should maintain a strong relationship to storefront openings.
- Upper storey windows should be inset, not flush to the wall.
- Ornamentation consistent with the building style is encouraged, such as brackets, window surrounds, etc.

Ground Level

- Ground level should be used for window displays to animate the streetscape.
- Storefront windows and doors should maintain a traditional design broken into smaller sections.

- Wooden sash windows are preferred; if metal windows are used they should approximate the proportions and detailing of wood.

Materials and Colour

- Materials should be in keeping with quality wood frame designs consistent with the village character.
- Use only high-quality materials and construction techniques that will last in this wet west coast climate. Wood or quality stucco cladding and natural materials are preferred,
- Natural and earthtone colours are most appropriate, although variations may be considered for individual buildings.



Canopies, Awnings and Lighting

- Canopies and awnings, if appropriate, should respect the building style as well as the general character of other canopies and awnings on neighbouring buildings.
- Lighting should be used for safety purposes and to highlight architectural design elements. Avoid high intensity fixtures in favour of ornamental lighting

Landscaping and Parking

Creative landscaping design that makes use of varying effects in different areas of the site is encouraged, such as hard entrance surfaces and plantings at storefront, corner landscaping, courtyards, and landscaped parking at the rear.

Hard Landscaping

- A variety of hard surface treatments may be used for entranceways, patios, decks, sidewalks, etc.:
 - ✓ decorative concrete finishes
 - ✓ slate, tile, concrete or brick pavers
 - ✓ pressure-treated wood
 - ✓ curbs and edging encouraged

Soft Landscaping

- New developments may make use of mixed evergreen shrubs, trees, perennial and annual flowers in:
 - ✓ open planting
 - ✓ storefront planters
 - ✓ hanging baskets
 - ✓ built-in planters, or
 - ✓ retaining walls
- Curbs and edging should be used around open planting.
- Stone or natural-appearing retaining walls are preferred to interlocking block or plain concrete retaining walls.
- Storefront planters are recommended for existing buildings in the Historic Mainstreet area, such as informal wood boxes, hanging baskets, terra cotta or concrete urns with small decorative trees or mixed perennial and annual flowers and evergreen foliage (see Revitalization Basics).

Owners are strongly encouraged to employ the services of qualified landscape designers for site landscaping and parking designs.



Landscaping Requirements

Bylaw 580 requires 20% landscaping of lot area for new developments. The 20% landscaping requirement can combine hard and soft landscaping surfaces.

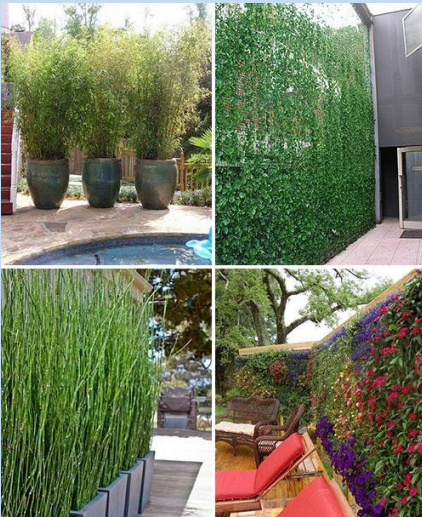
Landscaped sites should be well-drained, and grading should provide adequate run-off. Lighting of landscaping, parking arms, and walkways is encouraged.

On-Site Parking

New on-site surface and underground parking should include planting to give the overall impression of parking within a landscaped setting.

Screening

- Rear properties, parking areas, and garbage containers should be screened, preferably with a hedge at least 1.0 m high.



Surface Parking

- Public access to buildings from rear parking lots is strongly encouraged. If possible, vehicle access should be limited to laneways; joint access between properties can reduce number of access points on lanes.
- Parking should be located at the rear of the property, arranged in small clusters (6 to 8 spaces) with landscape buffers.
- If more than 10 spaces are required, provide landscape bays to subdivide parking areas.
- Surface parking lot edges should be finished with wood or concrete curbs and hedge screening; asphalt paving should not extend to property boundaries.
- Permeable surfaces should be used wherever possible.

Underground Parking

Underground parking can increase the buildable area of a site.

- Vehicular and pedestrian access points to underground parking should be landscaped, well-marked with signs, and well-lit.
- Large retaining walls should have plantings or be faced with fieldstone to soften their appearance.



Laneways and Laneway Access

The laneway system of Qualicum Beach provides convenient pedestrian and vehicle circulation. Owners are strongly encouraged to open building designs to the laneway system.

Pedestrians should be protected from vehicles by light screening, curbs, barriers, or changes in parking materials. Access to building entrances and parking should be clear and well-marked.

- Laneways and laneway access should be unobstructed by building design or landscaping elements.
- The uptown lane system offers a unique opportunity to develop rear and side façades as secondary storefronts.
- Owners are strongly encouraged to provide access to rear and side façades by means of laneways, storefronts, business entrances, café-style patios, courtyards, sidewalks, landscaped areas, and parking.
- Design of rear and side façades should be treated in similar manner to front façades.

Buildings may be opened to lanes in a variety of imaginative ways:

rear storefronts;
entrance doors and business access;
windows;
patios or courtyards;
outdoor cafes or seating;
landscaping - plantings, planters, baskets;
signs - parking, building identification;
awnings or canopies;

Building Guidelines

Building Guidelines provide detailed architectural design recommendations, focusing on various elements that constitute good building design. Building guidelines apply to all downtown building types.

Building Style and Image

Part of the charm of uptown Qualicum Beach is its informal variety of small-scale wood frame building styles. This standard should be continued for new buildings. Renovations should generally respect the integrity of individual building styles.

No particular building style is required, but building style and image should be consistent with traditional or contemporary village design.

Designers are encouraged to draw creatively on authentic design elements of Qualicum Beach

- ✓ wood-frame construction
- ✓ small-scale proportions and detailing
- ✓ informal building style
- ✓ articulated roof and parapet forms
- ✓ traditional storefronts and upper story windows
- ✓ use of decorative features such as trims, brackets, beams, cornices, mouldings
- ✓ warm natural materials and colours
- ✓ traditional sign, awning and canopy forms
- ✓ personable feel and interesting visual styles



Not Recommended

- large monolithic developments
- cookie-cutter "big-city," chain, or mall-style developments
- glass curtain wall or massive concrete construction
- large expanses of flat, plain, or unbroken wall surfaces
- theme styles ("Western" or "Bavarian")
- inappropriate "heritage" details (e.g. fake V brick)
- box-like roof forms
- featureless or overly busy detailing
- monolithic or cluttered signs, awnings, or canopies

Form, Scale and Proportions

Form and scale give a building or an area its intrinsic character, namely its size, shape, and appearance. Proportion refers to the building mass and relative height, width, and placement of basic elements such as storey levels, doors, and windows.

The traditional façade has two major parts: the storefront and the upper façade. The storefront should be relatively delicate in appearance with open ground-level display windows. The upper façade should be characterized by simple window openings and ornamentation. Roof forms may vary with building style.

Storefront

Open ground-level display windows can be transom, "French" or bay windows, recessed entries bulwark.

Upper facade

Simple window openings common floor levels, pilasters, parapets and cornices, use of brackets and architectural decoration.



The form, scale, and proportions of traditional village buildings should be maintained:

- ✓ stepped or sloped parapets for buildings in Area 1: Historic Mainstreet;
- ✓ articulated roof or parapet forms for contemporary buildings;
- ✓ open storefront at ground level;
- ✓ clear Relationship between storefront and upper facade openings;
- ✓ storey, parapet and cornice levels lined up with adjacent buildings if possible;
- ✓ small-scale detailing.



Rooflines, Firewalls, Parapets and Cornices

Rooflines often make the most dramatic impact on the overall appearance of a building. Roofs should always fit in with the style of the building.

Roof Forms

Many roof forms and styles may be used, particularly those that enhance the informal village character or draw on roof forms traditional to Qualicum Beach. Flat roofs with stepped or sloped parapets traditional to the early Townsite are encouraged for heritage buildings and existing one and two-storey façades in the Historic Mainstreet area. Articulated sloped roof forms with overhangs are encouraged for new and infill buildings. Upper storeys can be integrated into the roof form to minimize the apparent building height. Towers or feature roofs may be used on a limited basis for architectural emphasis. Solid canopies should blend in with the roof design.

Firewalls

Firewalls should be a neutral colour and integrated with roof design.

Parapets and Cornices

The use of cornices or eave treatments are encouraged to define the transition between wall and roof. Cornices on parapet style roofs should be simple in form using wood or pressed metal.

Eaves and cornices on sloped roofs should have overhangs, not be flush to the building. Eaves should be finished with wood bargeboards and fascia bands.

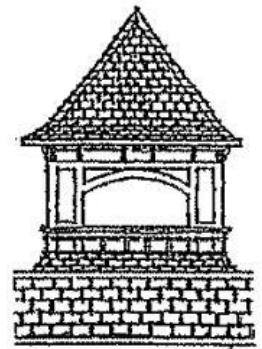
The roof drainage system of eaves troughs and downspouts should be an integral part of the roof edge and building design.

Types of Roofs



Traditional parapet lines

- Stepped
- Sloped
- simple cornices

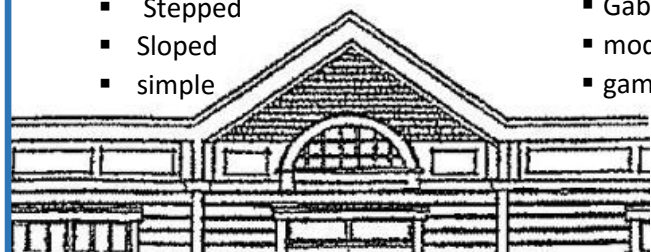


New Roof forms

- Dormers
- Hip
- Gable
- modified gable
- gambrel

Parapets

- Stepped
- Sloped
- simple



New roof form

- Dormers
- Hip
- gable / modified gable
- gambrel
- feature corners (towers)



Not Recommended

- Narrows
- mansard roofs
- Barn
- Chateau
- Shed dormer

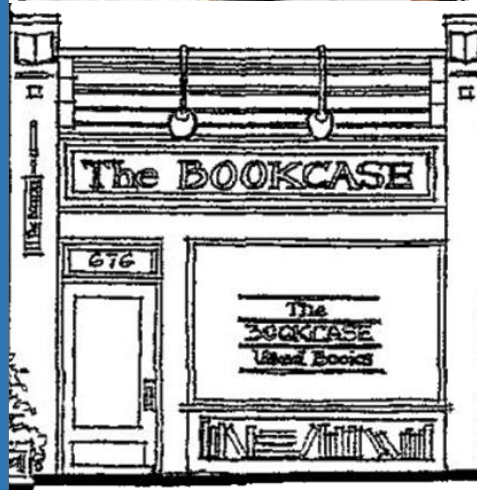
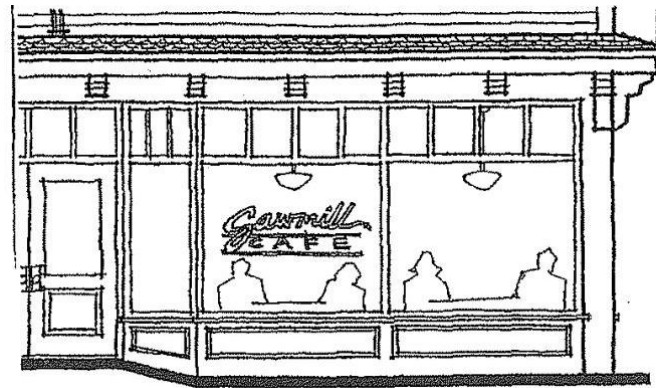
Storefronts

Recommendations apply to all types of storefronts, including retail, commercial office, or hotels. Existing traditional storefronts should be maintained. Storefronts that have been altered or blocked up in whole or in part should be returned to traditional form and dimensions. New or renovated storefronts should be based on traditional designs and configurations:

- ✓ wood frame and cladding preferred
- ✓ overall proportions of metal storefronts should be similar to wood
- ✓ glass divided by mullions preferred (traditional, "French," or bay windows)
- ✓ recessed entries
- ✓ glazing panels max. 2.44 m width
- ✓ top of glazing panels max. 3.0 in height above ground level
- ✓ protection by clearly marked alarm security system encouraged



Traditional open storefront designs with bulwarks, display and clerestory windows, and recessed entries are recommended.



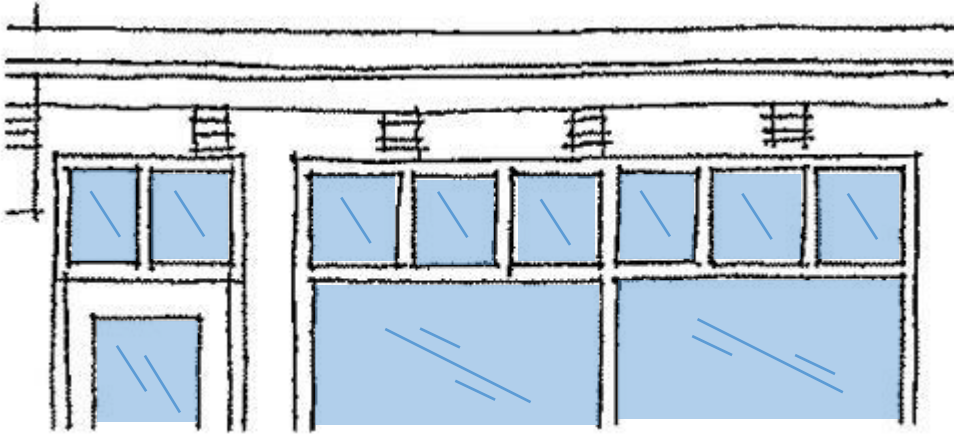
Bulwarks

A bulwark is the solid supporting wall located immediately beneath the storefront window.

- Wood-frame bulwarks faced with wood cladding or tile are preferred.
- wood panel designs (squares and rectangles) small geometric patterned tiles and brick (new building only).
- Sill heights should be min. 450 mm to max. 750 mm, or as originally designed.

Clerestory Windows

Located immediately above storefront display windows, clerestory windows usually form a grid or band with a series of smaller square or rectangular panes of glass.



- Use of clerestory windows are encouraged:
 - ✓ removed or covered clerestory windows should be restored;
 - ✓ new clerestory windows should emulate traditional materials and dimensions;
 - ✓ wood or leaded glass panes are preferred;
 - ✓ simple row or grid pattern.
- Dimensions vary according to design:
 - ✓ min, height 2.44 m
 - ✓ max. height 4.27 m (or to the underside of the second storey level);
 - ✓ Individual panes 150 to 600 mm in width.
- Clerestory windows can have operable sections that provide increased natural light and ventilation to the building interior.

Entrances

Entrance designs should be recessed and consistent with the style and design of the main storefront.

Design elements include recessed display windows and bulwarks, main entry door, and transom lights. Secondary entrances used for upper storey access should be simpler versions of the main entry design.

Doors

Doors should have traditional designs and detailing:

- ✓ panel-style or "French" doors
- ✓ clear or textured glass
- ✓ operable windows above doors are encouraged

Entrances should be well-lit, equipped with vandal-resistant fixtures and security hardware.



Storefront Displays

Design Principles

1. Employ an experienced display artist.
2. Keep displays dean, spacious and simple,
3. Use quality goods and materials.
4. Arrange objects in a loose triangular shape for a more dynamic effect.
5. Avoid visual clutter.
6. Relate themes to the business.
7. Keep main objects at eyelevel and in scale
8. Select colors for appropriateness and image.
9. Backdrops should be neutral.
10. Treat displays as theatre - use imaginative effects like pedestals, props; use lighting to highlight objects.
11. Maintain and change displays regularly.

Not Recommended

inappropriate modern designs (e.g., sliding glass storefront doors or doors without frames)

replacing wood storefronts with metal frames

protruding entrances or excessively long storefront recesses

wood latticework, large tilework, rock facing, or metal for bulwark cladding

large expanses of glass

painted, mirrored, or reflective glass

obviously mismatched hardware

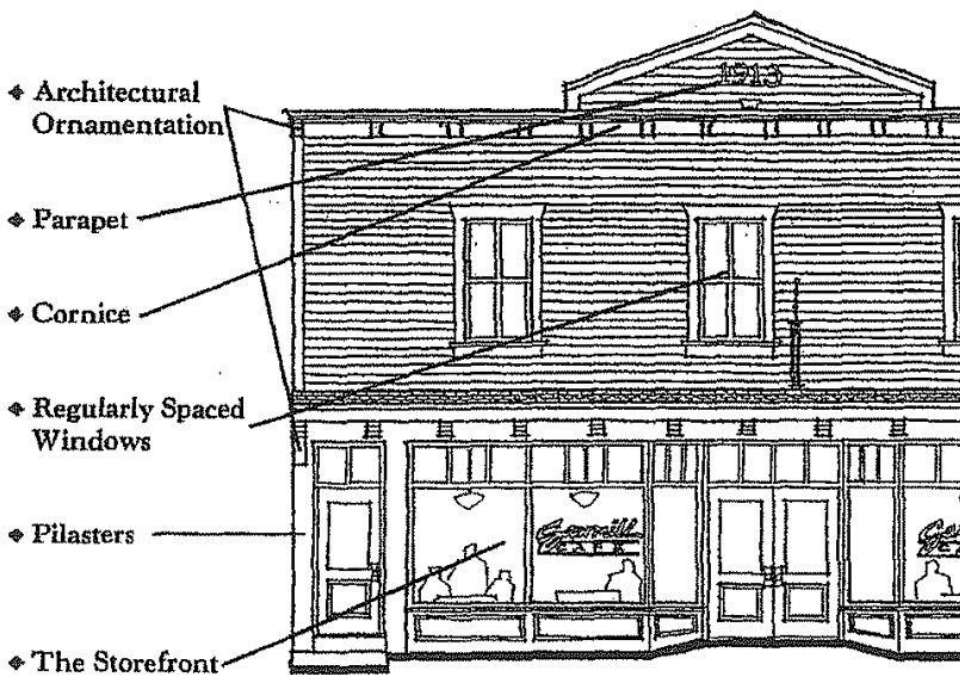
cluttered or inappropriate signs in display windows

Upper Storeys

The upper facade includes the wall surface, windows, eave, parapet, cornices, and architectural ornamentation. Existing upper façades should be restored to their original appearance or design appropriate to the building style. New façade designs should be compatible with traditional upper storeys in Proportions, placement of openings, window styles, and detailing.

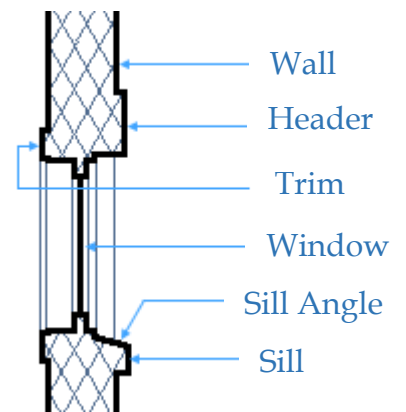
PARTS OF THE UPPER FAÇADE

A pierced or punctured upper façade is perforated with evenly or symmetrically-placed window openings; solid areas are load-bearing; windows are simple in style.



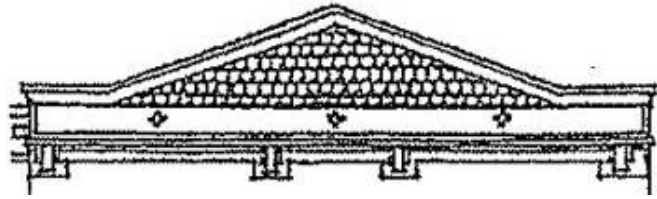
Walls and Windows

- Windows should be evenly spaced, with a clear relationship to ground floor windows and elements. The ratio of wall to window openings should be approximately 2:1.
- Window assembly should be set into the framing with reveals, not flush to the wall.



- Wood frames, sashwork, trims, and surrounds are encouraged; metal frames should be similar proportions to wood windows, flashed with wood surrounds.
- Windows should be divided into small glazed sections by muntins.
- Avoid large or thick muntins.
- Double glazing, caulking, and weatherstripping are recommended for new wood windows. Windows that maintain traditional sashwork proportions are encouraged.

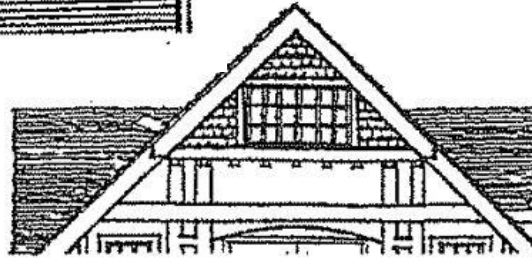
Types of Upper Façades



- parapet with cornice
- architectural decoration
- window openings
- fascia



- upright stepped parapet
- window openings
- fascia



- sloped roof
- bargeboard
- eave and cornice
- window openings

Eaves, Parapets and Cornices

The use of cornices or eave treatments are encouraged to define the transition between wall and roof.

- Cornices on parapet-style roofs should be simple in form using wood or pressed metal trim and mouldings



- Eaves and cornices on sloped roof forms should have overhangs, not be flush to the building. Eaves should be finished with wood bargeboards and fascia hands.
- The roof drainage system of eavestroughs and downspouts should be an integral part of the roof edge, building design and colour scheme.

Residential Upper Storeys

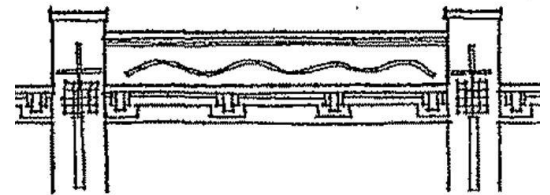
Balconies in upper storey residential units should be in keeping with the building style. Proportions of openings should be evenly-spaced with a clear relationship to ground floor elements.

- Upper storeys (bay windows) should not encroach over municipal sidewalks or rights of way.
- Panel or louvered blind shutters may be used for residential units and only if they are appropriate to the building style. Proportions of panel shutters should relate to the number of window panes.



Architectural Ornamentation

Buildings often derive their unique character from decorative details. Wood details such as fascia bands, brackets, or decorative panels are encouraged, particularly for older buildings.



Not Recommended

Irregular or randomly-placed upper storey windows

Pre-fabricated "heritage windows with imitation styles or snap-in grids

Flush mounted ribbon-style windows

Eaves or cornices out of scale with the building

Out of scale, busy, or stylistically inappropriate architectural ornamentation

Materials

Materials and craftsmanship should be in keeping with quality wood-frame construction, consistent with the village character. Only good quality materials and construction techniques that will last in this wet west coast climate should be used.

Preferred Materials

Sloped Roofs	<ul style="list-style-type: none"> • wood - cedar shingles are encouraged • synthetic shingle • slate • copper or metal - cupolas, feature roofs in natural colours
Main Cladding	<ul style="list-style-type: none"> • wood siding - horizontal or shingle, stained or painted • stucco - plain or lightly textured, tinted or painted • aluminium, cement board and other substitutes - horizontal, must be high quality
Storefronts and Windows	<ul style="list-style-type: none"> • wood frame and trim preferred • aluminium or metal - use wood surrounds and proportions similar to wood windows • glazed tile - storefront bulwark facing (max. 150 mm sq.)
Fascia, Cornice, Brackets, Eaves	<ul style="list-style-type: none"> • wood - solid wood trims • metal - pressed metal cornices • synthetic materials - generally for reconstruction (fibreglass, styrofoam)
Trims and Details	<ul style="list-style-type: none"> * wood - building trim and details • metal - hardware, railings, handrails
Flashings	<ul style="list-style-type: none"> • metal - painted or anodized
Foundation and Entry Floors	<ul style="list-style-type: none"> • brick and mortar - facing and details • stone - facing, landscaping or details • slate - landscaping or entries • nonslip tile - storefront entries • decorative concrete - entries and landscaping

New Materials

- ✓ Only high quality materials should be used.
- ✓ Materials on new buildings should complement adjacent facades.
- ✓ The new building should not stand out against other buildings.

Wood - only quality wood and finishing techniques should be used. Wood can be substituted with metal or cement board if the dimensions and proportions are similar to wood.

- Siding should be horizontal narrow profile (max. 150 mm depth) clapboard or drop siding, stained or painted. Shingle siding may be used. Siding should be cedar or fir; hemlock and pine should not be used. Corners and edges should be finished with wood trim. Wood in contact with the ground should be pressure-treated.



- Storefronts, doors, and windows should be constructed with quality grade fir or cedar, painted or stained. Use a wood for exterior woodwork and trim before painting.
- Plywood should be limited to facing material for storefront bulwark panels, and should be well-sanded and painted to prevent checking or splitting.

Stucco - should be limited to a main cladding material.

- Stucco must be high quality, designed in panels or sections edged with wood trim rather than large unbroken expanses, thickly applied with proper metal flashing details at edges, floor levels, and balconies.



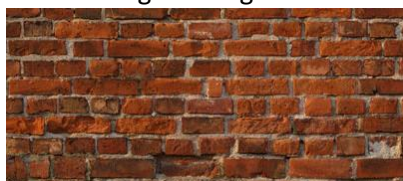
- Stucco should be plain or lightly-textured with tinted or painted finish.

Aluminium and Vinyl Siding -

should be high quality pre-finished horizontal profile similar to wood siding. It should not be used over existing wood cladding as it prevents ventilation and can cause rot.

Brick - should generally be common face, smooth texture, traditional size, in common, running, or soldier bond patterns.

- Mismatched, textured, or jumbo bricks are inappropriate.
- New "antique brick" should not be used for renovations to existing buildings.



- Brick should never be sandblasted.

Stone may be used for cladding or ornamentation in limited quantities for foundation facing or features such as quoins, pilasters, or relief work.



Natural stone is encouraged for landscaping, such as built-in planters or retaining walls. Slate may be used for patios, entrances; and walking areas.

Tile - should be limited to storefront bulwarks or entrances.

- Bulwark tile should be small (max. 150 mm), solid colours, smooth or textured exterior ceramic, set in plain or geometric patterns appropriate to the storefront design.
- Entrance floor tile should be nonslip exterior tile, solid colours, set in plain or geometric patterns. Interior, large, or modern patterned tiles are inappropriate for exterior façades.



Materials

Synthetic Materials - should be limited to reconstruction where natural materials are unavailable or cost prohibitive. Examples of appropriate synthetics are fibreglass or Styrofoam mould replacements for cornices. Fibreglass stone replicas would not be appropriate.



Not Recommended

- wide profile wood siding (more than 150 mm)
- diagonal wood siding
- rough sawn cedar siding or shakes
- plywood siding
- highly textured, swirled, patterned, or stippled stucco
- stone chip stucco
- new "antique" for existing buildings
- over-scaled jumbo brick or concrete blocks
- irregular, jagged, rough cut, or polished stone facing
- large, modern patterned or interior tile
- corrugated metal or fibreglass
- shiny metal or, plastic flashing
- asbestos or fibreboard panels
- textured concrete panels
- large expanses of concrete
- mirrored or reflective glass
- glass curtain walls or large expanses of glazing
- large expanses of metal, rough cedar shake, or Spanish-style
- concrete-tile roofs low quality vinyl, plastic, or metal sidings
- inappropriately added materials (e.g., rock face over existing storefront)
- low quality or flashy modern materials (plastic trims, mirrored surfaces)

Colour

Natural pigment or earthtone colours are most appropriate. The overall effect of a colour scheme should be harmonious, attractive, and consistent with the building style and character of the area.

Colour selection can make or break the appearance of a building, so careful consideration of a colour scheme is strongly recommended. Owners are encouraged to consult with an experienced colour consultant. Many paint companies offer appropriate preselected colour guides.

Main Body - natural warm-based hues suitable for wood or stucco such as:



Trim- Trim colour(s) should complement the main body, using a lighter shade or a contrasting colour. One trim colour should be selected to enhance architectural elements such as cornices, fascias, or columns. If desired, a second trim colour can be used to "pick out" ornamental detail such as decorative woodwork or brackets.

Storefront Windows - sashwork may be painted dark natural colours such as:



or light colours such as:



Upper Storeys - use one or two colours to complement storefront and main body colours. A light colour (cream or sand) can be used with a darker trim colour such as russet, slate, green, or other variations.

Not Recommended

- cool tones such as battleship grey, blue-based colours
- fluorescent, bright, primary colours
- red, orange, blue, or purple as main body colours
- overly busy or overpowering trim colours
- bright or garish colour combinations with high contrast
- do not apply paint to moist, cold, or poorly-prepared surfaces
- do not apply latex paint to enamel-based paint surfaces without a bridging primer
- do not use gloss paint on the main body of the building

NOTE: Except for stained glass, no tinted or coloured glass should be used on existing buildings. Glazing colours on new buildings should be in keeping with the building colour scheme

A colour scheme usually consists of a main body colour, plus one or two trim colours to accentuate detail. Colour enhancement of building details should complement the main body colour, either in contrasting colours or similar colours that are darker or lighter in shade.

Canopies and Awnings

Canopies and awnings should respect the building style, as well as the general character of other canopies and awnings on neighbouring buildings.

Canopies and awnings provide weather protection, as well as a relatively inexpensive way to improve, unify, and add colour to a building and streetscape. However, a proliferation of awnings in the uptown is not encouraged. Façades should be assessed individually for the suitability of canopies or awnings.

- ✓ Canopies and awnings should be constructed with quality materials and craftsmanship. Placement should not obscure architectural details or skirt in front of structural components.
- ✓ Proportions should not overpower the façade, its windows, or neighbouring buildings. Colours should be compatible with warm natural building colours.
- ✓ Lighting should be subtle and used to highlight architectural features of a building.

Canopies

Canopies should be limited to solid sloped or marquis-style, integrated with the roof and building design



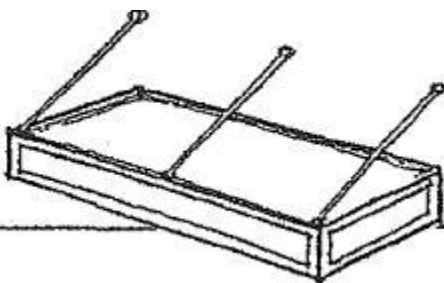
Solid sloped canopies

- ✓ wood frame with shingles
- ✓ solid metal framing or metal framing with clear safety glass



Marquis-style canopies

- ✓ located over entrances, not full building length
- ✓ solid metal framing or metal framing with clear safety glass
- ✓ decorative pressed metal panels for underside and exterior cladding.



Awnings

Awnings should be constructed of tubular steel frames with solid non-shiny fabric

- ✓ opaque awning fabric
- ✓ matte vinyl laminate
- ✓ fade-resistant
- ✓ fire-retardant treated to *Underwriters' Laboratory of Canada standards for flammability*

- frames should be securely attached. Steel frames should be painted to match the fabric, building, or trim. Metal fastenings should be rustproof.
- Simple solid colour or striped fabrics that complement the overall colour scheme are preferred. Printed valances on striped awnings should be solid in colour; graphics should not be applied over stripes. Backlighting is limited to valance lettering.
- Loose drop valances are preferred (max. 300 mm depth) with scalloped, straight, or notched valance edges finished with binding. Awning ends may be open or closed



Awning Shapes

Awnings styles should be compatible with storefront windows and other architectural features. The following styles are generally preferred:



Special design features



Four-point fixed valance



Retractable



Half round for entrances



3-point with loose drop valance

Not recommended

projecting box canopies

translucent fabric, cotton canvas, plastic, corrugated or sheet metal, fibreglass, concrete

inappropriate random-shaped (e.g., animal-shaped), domed, barrel vault, and convex shaded awnings

awnings that obscure features such as arches, lintels, stained or leaded glass

red, orange, primary, bright, fluorescent colours or busy stripes

Building Lighting

Building illumination should be planned for its overall effect. Three main types of lighting should be used: general, security, and special effects.

Building illumination should be used for safety purposes and to highlight architectural design elements. Avoid the use of high-intensity fixtures in favour of ornamental fixtures with lower levels of illumination. Incandescent lighting is preferred.

- ✓ Fixtures should be securely fastened, concealed or positioned to prevent glare and reflections.
- ✓ Visible wall and ceiling mounted fixtures should be appropriate to the building style.
- ✓ Utility grade fixtures such as spotlights may be "painted out" with a neutral colour.
- ✓ Wiring should be unobtrusive or concealed

General Lighting

General lighting gives visibility to public areas such as sidewalks, storefronts, displays, or signs.

- Light should be warm clear or white incandescent.
- Fixtures should be concealed or quality wall-mounted, ceiling-mounted, or pendant fixtures if visible to the public.
- Display windows should be highlighted from the interior by movable track spotlights, recessed pot lights, or pendant lights.

Security Lighting

Security lighting provides lighting for recessed entrances, entry doors, and public sidewalk areas.

- Entrances should be well-lit with bright, even incandescent light without shadows.
- Fixtures should be recessed pot lights, wall-mounted, or ceiling mounted.
- Fixtures should have translucent white or ivory-coloured vandal-resistant polycarbonate plastic covers.
- Internally-illuminated awnings may be used to light sidewalk areas

Exterior storefront lighting may include:



Recessed pot lights (under canopy or awning)



Sign spotlighting



Fascia spotlighting



Entrance or door lights



Wall mounted fixtures



Special Effects Lighting

Enhances architectural features such as signs, cornices, or brackets. Architectural lighting should be incandescent; appropriate fixtures include "gooseneck" style, spotlights, or recessed pot lights. Illumination techniques may include:

- **Fascia up or down lighting**
with concealed spotlights
- **Uplighting (or floodlighting)**
from the fascia, canopy, or awning
- **Down lighting from cornice or fascia**
(gooseneck lamps or recessed potlights)
- **Spotlighting details**
such as brackets, pilasters, or arches
- **Sign spotlighting**
- **Canopy or awning lighting**
(recessed pot lights or spotlights directed onto and awning from above)
- **String lights**
used seasonally to outline buildings or to highlight architectural features



Not Recommended

- visually inappropriate fixtures
- overdone aerial effects
- unshielded light sources
- coloured or fluorescent lights
- mercury vapour and low or high-pressure sodium fixtures for building lights
- internally-illuminated awnings, except for valance lettering and sidewalk illumination

