



## **TOWN OF QUALICUM BEACH**

### **ZONING BYLAW BYLAW NO. 900, 2024**

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TOWN OF QUALICUM BEACH  
**ZONING BYLAW NO. 900**

A BYLAW TO REGULATE THE SITING, SIZE AND USE OF BUILDINGS AND  
STRUCTURES AND THE USE AND SUBDIVISION OF LAND, IN THE TOWN OF  
QUALICUM BEACH

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The Council of the Town of Qualicum Beach, in open meeting assembled, enacts as follows:

**TITLE**

1. This Bylaw may be cited as the “Town of Qualicum Beach Zoning Bylaw No. 900, 2024”.

**APPLICATION**

2. This Bylaw applies to all land (including the surface of water), buildings and structures within the Town of Qualicum Beach.

**APPENDIX ‘A’**

3. Zoning Bylaw No. 900, Appendix ‘A’ – Zoning Bylaw is attached to and forms an integral part of this Bylaw.

**ZONING MAP**

4. The area within the Town of Qualicum Beach is divided into zones in accordance with Schedule ‘3A’ – Zoning Map to Appendix ‘A’.

**SUBDIVISION DISTRICT MAP**

5. The area within the Town of Qualicum Beach is divided into subdivision districts in accordance with Schedule ‘4A’ – Subdivision District Map to Appendix ‘A’.

**REPEAL**

6. “Town of Qualicum Beach Land Use and Subdivision Bylaw No. 580, 1999” and amendments thereto, is repealed and replaced with this Bylaw.

READ A FIRST TIME this 29<sup>th</sup> day of May, 2024.

READ A SECOND TIME this 29<sup>th</sup> day of May, 2024.

READ A THIRD TIME this 29<sup>th</sup> day of May, 2024.

Received approval pursuant to the *Transportation Act* this 17<sup>th</sup> day of June, 2024.

ADOPTED this day of, 2024.

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Teunis Westbroek, MAYOR

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Luke Sales,  
DEPUTY CORPORATE ADMINISTRATOR

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TOWN OF QUALICUM BEACH

**ZONING BYLAW NO. 900**

APPENDIX 'A'



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## **BYLAW NO. 900 – PART 1 – ADMINISTRATION**

### **1.1 Other Legislation**

1. Nothing contained in this Bylaw shall relieve any person from the responsibility to seek out and comply with other legislation applicable to their undertaking.
2. Where land is within the Agricultural Land Reserve or the Forest Land Reserve created pursuant to the *Agricultural Land Commission Act* or *Private Managed Forest Land Act* and amendments thereto; and if any portion of this Bylaw is in any way less restrictive to, in conflict with, or repugnant to those Acts, without statutory entitlement the Acts shall prevail.

### **1.2 General Prohibition**

No person shall:

- (a) cause, suffer or permit any building or structure to be used, located, constructed, altered, moved or extended;
- (b) use any building or structure constructed, moved or altered;
- (c) cause, suffer or permit land to be used;
- (d) use land;
- (e) subdivide land;
- (f) use land without providing off-street parking and loading spaces;

in contravention of this Bylaw or otherwise fail to comply with the requirements of this Bylaw.

### **1.3 Inspection**

Officers, employees and agents of the Town of Qualicum Beach may enter at all reasonable times on property that is subject to this Bylaw, to ascertain whether the requirements of this Bylaw are being met or the regulations of this Bylaw are being observed.

### **1.4 Violation**

Any person who violates any of the provisions of this Bylaw or who suffers or permits any act or thing to be done in contravention of this Bylaw or who neglects to do or refrains from doing any act or thing which is required to be done by any of the provisions of this Bylaw, commits an offence against this Bylaw.

### **1.5 Penalty**

- a) Any person who causes, permits or allows anything to be done in contravention or violation of this Bylaw, or who neglects or fails to do anything required to be done pursuant to this Bylaw, commits an offence and is liable upon summary conviction to pay a fine of not more than \$50,000, plus the costs of prosecution, and any other penalty or remedy available under the *Community Charter and Offence Act*.
- b) Each day that such violation is caused to continue or allowed to continue, constitutes a separate offence.

## **1.6 Severability**

If any section, subsection, sentence, clause or phrase of this Bylaw is for any reason held to be invalid by the decision of any court, such section, subsection, sentence, clause or phrase may be severed from the remaining portion of this Bylaw.

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TOWN OF QUALICUM BEACH

BYLAW NO. 900

**PART 2:**  
INTERPRETATION

## BYLAW NO. 900 – PART 2 – INTERPRETATION

### 2.1 Definitions

In this Bylaw:

**accessory building** means a building or structure located on a parcel, the use of which is accessory to the principal permitted use of the land, buildings or structures located on the same parcel, but specifically excludes buildings used for residential use.

**accessory dwelling unit** means a dwelling unit which is located in the same building as a commercial or industrial use, provided that the total floor area occupied by all accessory dwelling units on any one level shall not exceed the floor area of the ground floor by more than 10%; and, other than access, is not located on the ground floor of the building.

**accessory hotel** means an establishment that:

- (a) is located in the same building as a retail store, restaurant, office, or personal service use;
- (b) provides overnight accommodation in sleeping units which may include washroom facilities but not cooking facilities of any nature to paying guests for a total of no more than 46 days whether consecutive or not, during the period between April 15 and October 15 in each year;
- (c) includes a lobby and reception area, with a minimum floor area of 60m<sup>2</sup>;
- (d) shall include a manager's residence;
- (e) contains a total floor area occupied by all guest sleeping units of no more than 50% of the total floor area of the building;
- (f) except for the lobby, reception area, and manager's residence, is not located on the ground floor of the building; and,
- (g) provides separate sleeping units with separate entrances to a common interior hallway.

**accessory short-term rental unit** means a unit that:

- (a) provides overnight accommodation in sleeping units which may include washroom facilities and cooking facilities to paying guests for a total of no more than 42 days in any 90-day period;
- (b) contains a total floor area occupied by all guest sleeping units of no more than 50% of the total floor area of the building;
- (c) is not located on the ground floor of the building; and,
- (d) provides separate sleeping units with separate entrances to a common interior hallway.

**accessory to** means combined with but customarily incidental and ancillary to.

**accessory use** means a use combined with but clearly incidental and ancillary to the principal permitted uses of land, buildings or structures located on the same parcel.

**agriculture** means a use providing for the growing, rearing, producing and harvesting of agricultural products, including:

- (a) fruit and berry production;
- (b) growing trees and shrubs;



- (c) housing livestock, poultry, bees;
  - (d) animal feeding and holding areas;
  - (e) storage of crops;
  - (f) processing of the primary agricultural products harvested or produced on that farm;
  - (g) storage, repair and use of machinery and equipment used in conjunction with the agricultural activity carried out thereon;
  - (h) farm retail sales; and,
  - (i) farm education;
- but excludes livestock processing, feed lot, fur farm, and intensive swine operation.

**ancillary dwelling unit** means one self-contained unit with a separate entrance that is accessory to a principal building and is intended for year-round occupancy and the principal use of such dwelling unit is residential with living facilities for one or more persons, including provisions for living, sleeping, cooking and sanitation; and having only one room equipped with a cooking facility; but excludes a mobile home, recreational vehicle or tent.

**animal care** means a building or structure used for a veterinary clinic, animal hospital, or facilities for boarding or breeding household animals or pets.

**apartment** means a dwelling unit which shares a common entrance from the exterior with a minimum of 2 other dwelling units located within the same building.

**artisan workshop** means the use of a premises for the creation and production of arts and crafts for sale to the general public and includes but is not limited to the production of pottery, ceramics, sculpture, painting, drawing, weaving, candle production, tile art, music production, moving or still photography.

**backyard poultry** means the keeping of chickens and ducks.

**bed and breakfast** means the use of part of a single detached dwelling containing additional sleeping rooms for the accommodation of paying transient guests where breakfast is the only meal that may be served to the guests.

**boat building and repair** means the use of land, buildings, structures or equipment for the manufacturing, servicing or repair of boats.

**boat ramp** means a structure located on a shoreline to accommodate vehicles or trailers for the purpose of launching and hauling boats out of water.

**building** means any structure and portion thereof, including mechanical devices, that are used or intended to be used for the purpose of supporting or sheltering any use or occupancy.

**building inspector** means the Building Inspector, Plan Checkers and Plumbing Inspectors designated by the Town of Qualicum Beach;

**campground** means a parcel providing for the seasonal and temporary accommodation of travelers using tents or recreational vehicles; but specifically excludes a mobile home park or hotel.

**camping space** means an area within a campground used for one recreational vehicle or tent.

**church** means a building used for religious worship and includes a Mosque, Synagogue, Temple, Chapel or religious meeting room.

**commercial vehicle** means:

- a) a motor vehicle having three or more axles; or
  - b) a motor vehicle having or has had a licensed gross vehicle weight greater than 4,500 kilograms (i.e., required to be inspected and to carry a decal under the Commercial Vehicle Inspection Program); or
  - c) a truck tractor;
- but does not include a recreational vehicle, recreational vehicle trailer or tow car.

**community sewer system** means a system of sewerage works or sewage disposal which is owned, operated and maintained by the Town or the Regional District of Nanaimo; and does not include a system established, regulated or operated by pump and haul.

**community water system** means a system of waterworks which is owned, operated and maintained by the Town or the Regional District of Nanaimo.

**convenience store** means a retail store contained under one roof, having a floor area not exceeding 200 m<sup>2</sup>, and providing for the sale of items regularly used by households, including food, beverages, books, magazines or household accessories, but specifically excludes a liquor store.

**cooking facility** means the main means of cooking a meal or any arrangement of cooking facilities within a dwelling unit and includes gas, propane, or electric ranges or stoves, microwave ovens, counter-top cooking units, hot plates, wall ovens, toaster ovens, electric frying pans, pressure cookers, crock pots or any other such cooking facility or any combination of such cooking facilities, and includes the arrangement of service lines which provide the energy source being used or intended to be used to service such facilities.

**corner lot** means a lot at the intersecting centre lines or junction of two or more different highways, which may have the same name, where the angle of the centre lines of the intersecting highways opposite the lot does not exceed 140 degrees.

**Council** means the Council of the Town.

**cul de sac** means a highway with only one point of intersection with another highway and which terminates in a vehicle turning area.

**derelict vehicle** means a vehicle that has not been licensed for a period exceeding one year and is not stored in a building.

**duplex** means a building containing two dwelling units.

**dwelling unit** means one self-contained unit with a separate entrance intended for year-round occupancy and the principal use of such dwelling unit is residential with complete living facilities for one or more persons, including provisions for living, sleeping, cooking and sanitation; and having only one room equipped with a cooking facility; but excludes a room in a hotel or motel, mobile home, recreational vehicle or tent.

**ecological conservation and education** means the use of land, buildings and structures for the purpose of teaching, learning, display and research related to the art and science of horticulture and the management of the forest for the benefit of existing and future generations and may include accessory uses that exclusively support the operation of the principal use including: gift shop; retreats which may include overnight accommodation for no more than eight people; special cultural events; and fund raising events such as plant sales.

**equestrian facilities** mean land, buildings or structures used to house or board equine animals and may include facilities for exercising, training or showing equine animals that are normally housed or boarded on the same property.

**extreme weather warming/cooling centre** means a residential/congregation use that is Accessory to a Principal Use for the temporary accommodation free of charge to persons to meet the persons' immediate basic needs for shelter for a period during which an extreme weather alert has been activated under the temperature thresholds of the Assistance to Shelter Regulation or the heat alert thresholds of the BC Provincial Heat Alert and Response System (BC HARS).

**fairground** means the use of land, buildings and structures for entertainment and recreational activity generally undertaken in an outdoor setting, where the users constitute a significant element in the activity, and includes go-cart track, waterside, mini-golf course, amusement park.

**farm education** means education and research respecting agricultural use, as long as the area occupied by any buildings or structures necessary for the education or research does not exceed 100m<sup>2</sup> for each parcel and the number of students at any one time does not exceed 10 persons, and excludes schools under the *School Act*.

**farm retail sales** mean the retail sale of agricultural products that are produced from a farm use, and the retail sale of the following products which may not be produced on a farm:

- (a) packaged: soil, compost, mulch and soil conditioner;
- (b) bulk topsoil and compost derived only from organic matter with a maximum of 14 cubic meters to be in the product storage areas;
- (c) non-chemical: fertilizers, insecticides, fungicides and herbicides but excluding pesticides prohibited by any governmental enactment;
- (d) gardening hand tools;  
plant containers;
- (e) seeds, garden ornaments and live garden pond fish; and,

for certainty does not include the sale of any other products that are not produced on a farm notwithstanding that the sale of such products may be permitted by the *Agricultural Land Commission Act* or Regulations under that Act.

**fast food outlet** means an eating establishment providing for the sale of prepared food and beverages which are served over a counter or through a take-out window or by means of a drive through service to customers who may consume the food and beverages on or off the premises, but specifically excludes grocery stores, delicatessens and the sale of bakery goods, ice cream and soft drinks.

**feeder swine** means a pig, between the age of 8 weeks and 6 months, weighing less than 102 kilograms.

**feed lot** means the use of land, buildings or structures for the purposes of keeping more than 6 cattle per hectare on land upon which the feed lot is situated.

**fence** means a structure used to wholly or partially screen from view, enclose or divide a yard or other land.

**final approval** means the Approving Officer affixing their signature to a subdivision plan pursuant to the *Land Title Act* or the Bare Land Strata Regulations and amendments thereto.

**flat roof** means a roof on a building that has a roof surface with a pitch of less than 4 in 12.

**floor area** means the sum total of the gross horizontal area of each floor of a building as measured from the innermost perimeter of the building walls.

**floor area ratio** means the figure obtained when the floor area of all buildings on a parcel is divided by the area of the parcel.

**food concession** means a retail outlet providing for the sale of prepared food and beverages which are served over a counter or through a take-out window that:

- (a) has a maximum total floor area of 80m<sup>2</sup>;
- (b) does not provide access from a public street.
- (c) is closed to the public except at the following times:
  - i. Saturdays, Sundays, and statutory holidays
  - ii. During sports tournaments in the Community Park
  - iii. During special events approved by the Town.

**frontage** means the length of a parcel boundary which abuts a highway.

**funeral parlour** means an establishment with facilities for the preparation of the deceased for burial or cremation, for viewing of bodies, and for funerals.

**fur farm** means the use of land, buildings or structures for the purposes of keeping fur-bearing animals, but specifically excludes household animals, pets and rabbits.

**garage sale** means an offering for sale to the public of personal property held inside or outside of a building located in any residential zone, and includes, but is not limited to all sales entitled “attic”, “backyard”, “boot”, “driveway”, “estate”, “flea market”, “garage”, “lawn”, “moving”, “patio”, “porch” “room”, “rummage” “white elephant” or “yard” sales.

**gasoline service station** means the use of land and structures for gasoline pumping stations and premises under one roof for:

- (a) a retail store, having a gross floor area not exceeding 100m<sup>2</sup>, providing for the retail sales of items regularly used by households including food, beverage, books, magazines, and household accessories, but specifically excludes a liquor store;
  - (b) the retail sales of motor vehicle accessories; or,
  - (c) the servicing and cleaning of motor vehicles;
- but specifically excludes vehicle sales, body work, painting and third party repairs;

**golf course** means an outdoor golf course and additional accessory buildings, structures and uses customarily incidental to a golf course and includes: driving range, pro shop, dining and meeting facilities.

**heavy equipment display** means the use of land, buildings or structures for the display, sales or rental of mobile homes, industrial vehicles and machinery, and includes outdoor sales, but specifically excludes the servicing of such equipment.

**heavy industry** means processing, manufacturing, fabricating or assembling semi-finished or finished goods, products or equipment from raw materials, or storing, cleaning, servicing, repairing or testing materials, goods and equipment normally associated with industrial or business use and typically has area, intensity and land use impacts with greater magnitude and significance than light industry.

**height, buildings and structures** means the vertical distance from the average natural grade to:

- (a) the highest point of any structure; or
- (b) the deck line of a mansard-roofed or flat-roofed building; or
- (c) the average height level between the eaves and a ridge of a gable, hip or gambrel roofed building;

but specifically excludes chimneys, mast aerial, church spire, flag pole, water tank; observation and transmission tower, mechanical devices necessary for the operation of a building, and agricultural buildings or structures where permitted in the applicable zone.

**height, fence** means the greatest vertical distance between any point along the top of the fence and the natural grade vertically below that same point.

**highway** means a street, road, bridge, viaduct and any other way open to the use of the public, but specifically excludes lanes and private rights of way on private property.

**historic site** means land, buildings or structures of historic or heritage significance.

**home occupation** means a professional practice, occupation or craft conducted in a dwelling unit.

**hotel** means a building or group of buildings providing three or more separate sleeping units with separate entrances to a common interior hallway. A hotel is intended to be occupied primarily by the travelling public, and includes resort or lodge.

**hotel condominium** means a building or group of buildings providing three or more separate sleeping units with separate entrances to a common interior hallway, and which may be subdivided pursuant to the *Strata Property Act* and amendments thereto, and provides accommodation to the travelling public for a total of no more than 46 days whether consecutive or not, during the period between April 15 and October 15 in each year.

**household animal** means a domesticated animal kept by a household, which is used or the product of which is used primarily and directly by the household and not for sale or profit, and includes fowl and poultry, but specifically excludes livestock.

**houseplex** means a building having no less than three self-contained dwelling units, with at least half of the total dwelling units having direct access to the outside for ingress and egress.

**include** means as an example, but not limited to.

**intensive swine operation** means the use of land, building or structures for the purposes of keeping greater than 3 brood sows and 4 feeder swine per hectare.

**internal access road** means an internal access allowance within a campground, mobile home park or multiple dwelling unit development which is suitable for vehicular use.

**lake** means a body of water other than the sea having a surface area of at least 2.0ha for at least six months of the year.

**lane** means a right-of-way open to the public not more than 7.5m wide, which provides secondary access to any abutting parcel.

**land** includes the surface of water.

**landscape** means to arrange an outdoor automatically irrigated garden or grounds with any combination of trees, flowers, plants, bushes, shrubs, lawns etc. and may include decorative brick pavers, tiles, concrete pavers, cobblestones, or other similar materials, trellises, arbours and other similar features which are otherwise open to the sides and sky, but shall specifically exclude asphalt paving, any part of a lot used for the parking or maneuvering of motor vehicles, and uncleared undergrowth or weed growth.

**light industry** means the wholesale, warehousing, testing, service, repair or maintenance of an article, substance, material, fabric or compound; and includes artisan workshop and manufacturing shop, having a gross floor area not exceeding 200m<sup>2</sup>, computer, electronic and data processing establishments and retail sales accessory to the principal use provided that the retail portion does not exceed 20% of the total gross floor area.

**liquor store** means a retail store licensed under the *Liquor Control and Licensing Act* for the sale of beer, wine or other alcoholic beverages.

**livestock** means animals used for agricultural purposes, which are used or the products of which are sold, and includes any horse, donkey, mule, cow, goat, sheep or pig.

**loading space** means a space for the loading or unloading of a vehicle either outside or inside a building or structure.

**lock-off unit** means a dwelling unit or bedroom with a bathroom within a larger principal dwelling unit, which must have separate external access and shared internal access, and which can be locked off from the larger dwelling unit.

**lot** means the same as parcel.

**lot line** means the legally defined line or lines bounding any parcel provided that within a bare land strata development, the internal access routes shall be deemed to be highways for the purposes of this definition:

- (a) **exterior side lot line** means a lot line or lines not being a front or rear lot line and common to the parcel and a highway, natural boundary, unregistered or Crown Land.
- (b) **front lot line** means a lot line or lines common to the parcel and an abutting highway and is parallel or approximately parallel to the centre line of that highway, or radial or approximately radial to the centre point of the highway in the case of a cul-de-sac, and;
  - i. in the case of a corner lot, either lot line which abuts one highway may be considered the front lot line, and lot line or lines abutting the other highway shall be considered an exterior side lot line, however, the rear lot line must be opposite the front lot line,
  - ii. in the case of a corner lot a line which truncates the intersection of the two lot lines running parallel or approximately parallel to the two different highways, or a radius that connects two such lot lines, shall be considered an exterior side lot line,
  - iii. in the case of a through lot, the lines abutting the highway shall be considered the front lot lines,
  - iv. in the case of a lot with continuous frontage on three different highways the lot lines abutting the two highways opposite or most opposite to each other shall be considered front lot lines and the lot line abutting the third highway shall be considered an exterior lot line,
  - v. for a panhandle lot, the line separating the body of the lot from the panhandle shall be considered the front lot line; and,
  - vi. any line which does not conform to any other definition of a lot line shall be deemed to be a front lot line.
- (c) **interior side lot line** means a lot line not being a rear lot line and common to more than one parcel, or a lane.
- (d) **rear lot line** means the lot line opposite to and most distant from the front lot line or, where a rear portion of the parcel is bounded by intersecting side lot lines, it shall be the point of such intersection.

**major road** means a highway designated a major road pursuant to the Town of Qualicum Beach Official Community Plan`.

**marina** means moorage and launching facilities, including the rental and maintenance of boats and seaplanes, and which is equipped with public toilets and refuse disposal facilities located on land above the natural boundary.

**marshalling yard** means the use of land, buildings or structures to store and maintain industrial equipment and vehicles.

**minimum parcel size** means the smallest area into which a parcel may be subdivided.

**mobile home** means a housing unit designed to be moved from time to time, which arrives at the site where it is to be occupied complete and ready for occupancy except for placing on foundation supports, connection of utilities, and some incidental assembly, and meets or exceeds Canadian Standards Association Z-240 Standards, but specifically excludes recreational vehicles.

**mobile home area** means that part of a mobile home park used for siting mobile homes.

**mobile home pad** means an area within a mobile home space designated, designed and prepared for the support of a mobile home, surfaced with materials and provided with anchorage in accordance with the building regulations adopted pursuant to the *Local Government Act* and amendment thereto.

**mobile home park** means an un-subdivided parcel of land which are situated three or more mobile homes for the purposes of providing residential accommodation.

**mobile home space** means an area of land within a mobile home area for installation of one mobile home.

**motel** means an establishment that provides lodging to the travelling public and parking with guest room units that are accessible to a parking area.

**motor vehicle** has the same meaning as the *Commercial Transport Act*.

**multiple dwelling unit development** means the establishment of two or more dwelling units on a parcel or within a Bare Land Strata Plan.

**natural boundary** means the visible high water mark on any watercourse where the presence and action of the water are so common and usual, and so long continued in all ordinary years, as to mark upon the soil of the bed of the watercourse a character distinct from that of the banks thereof, in respect to vegetation as well as in respect to the nature of the soil itself.

**natural grade** means the best estimate by the building inspector or a British Columbia land surveyor of the elevation of the ground surface of land at the time of final approval of the most recent subdivision of the land which was approved;



- (a) prior to the adoption of this Bylaw, by an Approving Officer; or the Registrar or the Deputy Registrar where there is no final approval by an Approving Officer shown on a plan of subdivision; or
- (b) after the adoption of this Bylaw by an Approving Officer.

**natural site** means land of scenic or environmental significance that is preserved, protected and enhanced for the benefit of the natural environment, its ecosystems and biological diversity, and may include walking trails, boardwalks, stairs, an interpretive centre and other buildings that provide the public with an opportunity to observe and appreciate nature.

**neighbourhood pub** means an establishment operated under a 'D' type licence issued pursuant to the *Liquor Control and Licensing Act* and amendments thereto.

**non-farm commercial vehicle** means a commercial vehicle that is not primarily used for agricultural purposes on the parcel which it is located.

**nursery** means the use of land principally involved in agriculture or horticulture and accessory product sales and garden supply sales, but specifically excludes the sale of agriculture or horticultural machinery.

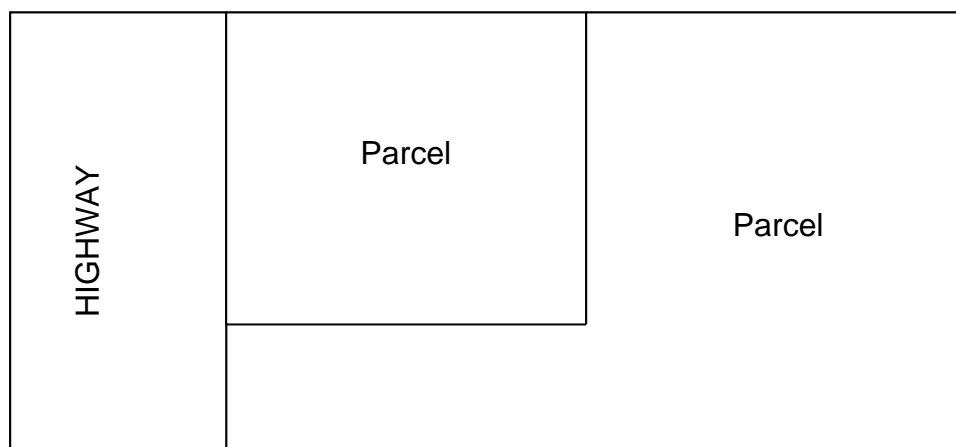
**office** means occupancy or use of a building for the purpose of carrying out business or professional activities, but specifically excludes retail activities and personal service use.

**outdoor private assembly** means the use of land to accommodate private functions such as exhibits, weddings, anniversaries, special events or meetings and may include the use of tents erected for the occasion, and, with the exception of sanitation facilities required by the authority having jurisdiction, does not include the use of permanent structures such as buildings, bleachers or grandstands.

**outdoor recreation** means a recreational activity undertaken where the outdoor setting and landscape is a significant element in the activity, and the density of recreational users is not a significant element and includes golf course, park or open space, playing field, botanical garden, arboretum, zoo, game farm, and outdoor exhibit.

**outdoor sales** means the use of land, buildings or structures for the retail sales of lumber and building products and the display, sale or rental or recreational vehicles, automobiles and boats, but specifically excludes the servicing of such equipment.

**panhandle** means a strip of land which provides access and highway frontage to a parcel, and which forms part of that parcel, as illustrated below:





Panhandle

Panhandle (not to scale)

**parcel** means any lot, block or other area in which land is held or into which it is subdivided, provided that a parcel which has been subdivided under the *Strata Property Act* or *Condominium Act* (other than by bare land strata subdivision) shall be considered to remain a single parcel for the purposes of this Bylaw.

**parcel area** means the total horizontal area within the lot lines of a parcel.

**parcel coverage** means the sum total horizontal area within the vertical projection of the outermost walls or supports of the building and structures on the parcel expressed as a percentage of the total parcel area, and includes covered structures attached to, and projecting from, the outermost wall, but specifically excluding underground parking structures.

**parcel depth** means the distance between the front lot line and the most distant part of the rear lot line of a parcel.

**park** means deeded public land used or intended for outdoor recreation purposes, and includes an archaeological, historical or natural site.

**parking space** means the space for the parking of one vehicle, either outside or inside a building or structure, but excludes maneuvering aisles and other areas providing access to this space.

**personal care facility** means a community care facility developed in accordance with the *Community Care and Assisted Living Act*, or a hospital developed in accordance with the *Hospital Act*.

**personal care unit** means a dwelling designed in conjunction with special support facilities, such as food, housekeeping and medical services, and used by persons requiring such services on a regular basis but does not include drug treatment facilities or correctional facilities where residents are appointed or placed by a court or an administrative body for criminal justice.

**personal service use** means a use whereby professional or personal services are provided to an individual and includes the sale of goods, wares, merchandise, articles or things accessory to the provision of such services. Typical uses include but are not limited to barber shops, beauty salons, dry-cleaning shop, massage services, and laundromats.

**pet** means a tame or domesticated animal, kept by a household for companionship and not primarily for sale or profit, and commonly housed within a dwelling unit.

**potable water** means water which meets the drinking standards in accordance with regulations of the relevant enactments.

**primary processing** means the use of land, buildings or structures for the crushing, washing, screening, processing or storage of soil.

**principal use** means the main use of land, buildings and structures as listed under the permitted uses of the applicable zone.

**principal building** means the primary and chief use of a building, or structure.

**public assembly** means the use of land, buildings or structures to accommodate exhibits, special events or meetings and includes auditorium, church, library, museum, community hall, curling rink, fraternal lodge, youth centre, and theatre.

**public parking lot** means the use of land for parking motor vehicles.

**public school** means a body of students, teachers, other staff and facilities organized as a unit for educational purposes under the supervision of an administrative officer and administered by a district board of education.

**public utility use** means the use of land, buildings or structures for the provision of community water or sewer services, park, public access, underground pipelines, underground electric and underground telephone lines over head wires servicing individual parcels, fire hall or cemetery.

**recreation facility** means a facility used and equipped for the conduct of sports and leisure activities and includes, bowling alley, games court, curling and roller rink, health club, spa, swimming pool, but specifically excludes a fairground.

**recreational vehicle** means any vehicle, trailer, coach, house-car, structure or conveyance designed to travel or be transported on a highway and constructed and equipped to be used as temporary living or sleeping quarters by travelers.

**remainder** means that portion of a parcel being subdivided which is shown on the same Certificate of Indefeasible Title before and after the subdivision.

**residential rental tenure** means the granting of a right to occupy a dwelling unit as living accommodation where the minimum occupancy period is thirty consecutive days, and where the Dwelling Unit is not owned by a dwelling unit occupant, but where regular payments are made to the owner for the use of the dwelling unit.

**residential use** means the accommodation and home life of a person or persons in common occupancy, and shall only be conducted within a dwelling unit.

**resort condominium** means a development subdivided pursuant to the *Strata Property Act* and amendments thereto and providing accommodation for persons on a temporary basis for a total of no more than 46 days whether consecutive or not, during the period between April 15 and October 15 in each year.

**restaurant** means an eating establishment providing only for the sale of unpackaged prepared foods and beverages which are consumed on the premises and which provide table service to customers seated in the premises, but specifically excludes neighbourhood pubs and fast food outlets.

**retaining wall** means a structure erected to hold back or support a bank of earth.

**retail store** means a sales outlet, contained under one roof, having a gross floor area not exceeding 1000m<sup>2</sup>, except that grocery stores and pharmacies may not exceed 3500m<sup>2</sup>, and providing for the retail sale and display of goods, and includes a bank, but specifically excludes light industrial uses, gasoline service station, fast food outlets, liquor stores and cannabis-related businesses.

**rural rental cottage** means a dwelling unit that meets the following:

- (a) either the dwelling unit or building site is available for rent;
- (b) is not subdivided from any other rural rental cottages on the parcel under the *Strata Property Act*;
- (c) has a floor area of less than 100m<sup>2</sup>; and,
- (d) does not have private outdoor space of more than 100m<sup>2</sup>.

**school** means privately funded, parochial and public schools.

**seafood processing** means the storage, drying, cooking, packing, preparation and manufacture of any aquatic organism.

**seasonal** means a use or activity that fluctuates according to one or more seasons (spring, summer, fall and winter) (but not all seasons) or available or taking place during one or more seasons (but not all seasons) or at a specific time of the year.

**seasonal outdoor market** means a seasonal outdoor retail market selling farm produce and other items.

**seasonal outdoor theatre** means a tent or land used to stage public performances or video shows.

**setback** means the required minimum horizontal distance measured from the respective lot line or natural boundary to any building wall or structure or part thereof.

**shipping yard** means the use of buildings, structures or land providing for the trans-shipment of goods.

**short-term vacation rental** means the temporary rental (less than 30 consecutive days) of a portion of or the entire dwelling unit, ancillary dwelling unit, but does not include Bed and Breakfast Accommodation, Hotel or Motel.

**silviculture** means all activities related to the development and care of forests, including the removal of harvestable timber stocks, but specifically excludes the processing of wood or wood products.

**site area** means an amount of contiguous surface area within a parcel that is required by this Bylaw for the development of a permitted use on that parcel to a defined density.

**slope** means the figure obtained when the maximum difference in elevation within an area of land is divided by the horizontal distance, expressed as a percentage.

**sloped roof** means a gable, hip or gambrel roof on a building that has a roof surface with a pitch of 4/12 or greater.

**soil** means sand, gravel, and rock or other substance of which land is composed.

**structure** means anything that is constructed or erected, and includes swimming pool, mobile home space, camping space and major improvements accessory to the principal use of land, but specifically excludes landscaping; uncovered decks, steps, landings, ramps and patios not more than 0.5m above adjacent finished grade; paving improvements; underground parking structures; retaining walls under 1.2m in height and which retains soil that is not more than 1.2m above the base of the wall; signs under 2.0m in height; and fences under 1.0m in height within 5m of the front lot line, and under 2.0m in height elsewhere.

**subdivision** means the division of a parcel of land into two or more parcels.

**swimming pool** means any structure or constructed depression used or intended to be used for swimming, bathing, wading or diving which is designed to contain water with a surface area exceeding 15m<sup>2</sup> to a depth exceeding 1.0m, but does not include irrigation, natural ponds or man-made ponds used for decorative or landscape purposes only.

**theatre** means a building or structure designed to stage public performances, or showings of films.

**through lot** means a lot abutting two or more highways not being a corner lot.

**tourist accommodation unit** means one accommodation unit comprising a single tenancy with its own water closet and wash basin and with a separate entrance from a public space, corridor, hallway, lobby, vestibule or common property intended for temporary accommodation and may contain a maximum of one area intended for use as a cooking facility, but specifically excludes the use of a mobile home as a tourist accommodation unit.

**tourist information booth** means a building or structure that is used solely for the purpose of providing information to the travelling public.

**tow car** has the same meaning as in the *Commercial Transport Act*.

**Town** means the Town of Qualicum Beach.

**townhouse** means a dwelling unit which has a separate entrance from the exterior not shared by any other use, which shares some of its exterior walls in common with another dwelling unit and is located within a building containing three or more dwelling units.

**transportation terminal** means the use of land, buildings or structures for taxi, bus, railway stations, airport, and the storage and maintenance of transportation equipment.

**truck tractor** has the same meaning as in the *Commercial Transport Act*.

**underground parking structure** means a covered structure for parking vehicles which contains a roof or the finished floor next above the parking area not more than 1.0m above the average natural grade measured at the four outermost corners of the parking structure and except for necessary points of access is no more than 1.0m above the adjacent finished grade.

**urban beekeeping** means the keeping of not more than two beehives and two nucleus colonies for domestic purposes or educational purposes in the yard.

**vehicle** means a vehicle licenced pursuant to the *Motor Vehicle Act* and amendments thereto.

**waste disposal site** means the use of land or buildings for the treatment and disposal of solid wastes, operated by the Regional District of Nanaimo or the Town.

**watercourse** means any natural or man-made depression with well defined banks and a bed of 0.6m or more below the surrounding land serving to give direction to or containing a current of water at least six months of the year and includes the sea or any lake, river, stream, creek, spring, ravine, swamp, gulch, surface source of water supply or source of groundwater supply whether enclosed or in a conduit.

TOWN OF QUALICUM BEACH

BYLAW NO. 900

**PART 3**  
LAND USE REGULATIONS

**BYLAW NO. 900 – PART 3 – LAND USE REGULATIONS****3.1 Zones**

1. For the purpose of this Bylaw, the Town is divided into zones designated and described by the following classifications and their short title equivalents:

ZONE CLASSIFICATION NAME	SHORT TITLE
Rural 1 Zone	A1
Rural 2 Zone	A2
Rural 3 Zone	A3
Rural 4 Zone	A4
Commercial 1 Zone	C1
Commercial 2 Zone	C2
Commercial 3 Zone	C3
Commercial 4 Zone	C4
Commercial 5 Zone	C5
Commercial 6 Zone	C6
Commercial 7 Zone	C7
Commercial 8 Zone	C8
Commercial 9 Zone	C9
Commercial 10 Zone	C10
Commercial Tourist 4 Zone	CT4
Comprehensive Development 1 Zone	CD1
Comprehensive Development 2 Zone	CD2
Comprehensive Development 3 Zone	CD3
Comprehensive Development 4 Zone	CD4
Comprehensive Development 5 Zone	CD5
Comprehensive Development 6 Zone	CD6
Comprehensive Development 7 Zone	CD7
Comprehensive Development 8 Zone	CD8
Comprehensive Development 9 Zone	CD9
Comprehensive Development 10 Zone	CD10
Comprehensive Development 11 Zone	CD11
Comprehensive Development 12 Zone	CD12
Comprehensive Development 13 Zone	CD13
Comprehensive Development 15 Zone	CD15
Comprehensive Development 16 Zone	CD16
Comprehensive Development 18 Zone	CD18
Comprehensive Development 19 Zone	CD19
Comprehensive Development 21 Zone	CD21
Commercial Residential 1 Zone	CR1
Conservation 1 Zone	E1



Conservation 2 Zone	E2
Conservation 3 Zone	E3
Recreation 1 Zone	F1
Recreation 2 Zone	F2
Recreation 3 Zone	F3
Recreation 4 Zone	F4
Industrial 1 Zone	I1
Industrial 2 Zone	I2
Institutional 1 Zone	P1
Institutional 2 Zone	P2
Institutional 3 Zone	P3
Institutional 4 Zone	P4
Institutional 5 Zone	P5
Institutional 6 Zone	P6
Institutional 7 Zone	P7
Institutional 8 Zone	P8
Institutional 9 Zone	P9
Rural Residential 1 Zone	RR1
Residential 1 Zone	R1
Residential 2 Zone	R2
Residential 3 Zone	R3
Residential 4 Zone	R4
Residential 5 Zone	R5
Residential 6 Zone	R6
Residential 13 Zone	R13
Residential 15 Zone	R15
Residential 16 Zone	R16
Residential 17 Zone	R17
Residential 18 Zone	R18
Residential 19 Zone	R19
Residential 20 Zone	R20
Small Lot Residential 1 Zone	SLR1
Utility 1 Zone	U1
Water 1 Zone	W1
Water 2 Zone	W2

2. The extent of each zone is shown on Schedule '3A' – Zoning Map.
3. Where a zone boundary is designated as following a highway or a watercourse, the centre line of the highway or the centre line of the watercourse shall be the zone boundary.

4. Where a zone boundary does not follow a legally defined line, and where distances are not specifically indicated, the location of the boundary shall be determined by scaling from Schedule '3A' – Zoning Map.
5. Where a parcel is divided by a zone boundary, the areas created by such division shall be deemed to be separate site areas for the purpose of determining the requirements of this Bylaw.
6. Where a parcel exists prior to the effective date of this Bylaw and the site area of the parcel does not conform to the provisions of this Bylaw, such parcel having an area less than the specified site area in the applicable zone may be used for only one permitted use in the applicable zone, provided that all other requirements of this Bylaw are satisfied.
7. Site area requirements do not apply to Public Utility Use or Park.

## **3.2 General Operative Clauses**

### **1. Permitted Uses**

No land, building or structure in any zone shall be used for any purpose other than that specified for the zone in which it is located in the schedules contained in this Part.

### **2. Uses Permitted in any Zone**

Except where specifically excluded, Public Utility Use and Parks are permitted in any zone.

### **3. Prohibited Uses**

- (a) Any use not expressly permitted in this Bylaw is prohibited in all zones and where a particular use is expressly permitted in one zone, such use is prohibited in all zones where it is not also expressly permitted.
- (b) The bottling of water for commercial purposes is prohibited in all zones, except where the source of the water is the municipal water supply and the bottling is for the purpose of retail sales onsite.

### **4. Siting, Size and Shape**

No building or structure shall be constructed, moved or altered so that its:

- (a) site area is less than what is permitted in the zoning;
- (b) siting provides less setback requirements than what is permitted in the zoning;
- (c) parcel coverage is greater than what is permitted in the zoning;
- (d) height is greater than what is permitted in the zoning;
- (e) floor area ratio is greater than what is permitted in the zoning; or
- (f) total number of units, buildings or structures is greater than that specified for the zone in which it is located in the schedules contained in this Part.

### **5. Off-Street Parking and Loading Spaces**

Off-street parking and loading spaces shall be provided in accordance with the regulations of this Part.

### 3.3 General Regulations

#### 1. Accessory Buildings and Structures

Buildings and structures accessory to the permitted use of a parcel are permitted in each zone, unless otherwise specified, provided that:

- (a) the principal use is being performed on the parcel; or
- (b) a building of the purpose of the principal use has been constructed on the parcel; or
- (c) a building for the purpose of the principal use is in the process of being constructed on the parcel.

#### 2. Common Accessory Uses

In a Multiple Dwelling Unit Development:

- (a) a common accessory building or structure shall be limited to a building or structure generally intended for the common use of tenants and includes facilities for storage, parking, laundry, service and recreation;
- (b) accessory buildings for individual use shall only be permitted where a dwelling unit has a setback from an interior side lot line.

#### 3. Storage of Derelict Vehicles or Refuse

Unless specifically permitted, no parcel shall be used for the wrecking or storage of derelict vehicles or refuse.

#### 4. Commercial Vehicles

- (a) No commercial vehicle shall be stored outdoors on a parcel in a residential or commercial zone;
- (b) No commercial trailer weighing over 1,400 kilograms shall be stored outdoors on a parcel in a residential or commercial zone;
- (c) A non-farm commercial vehicle shall not be parked or stored outdoors on a parcel in the A1 or A2 zone, unless that non-farm commercial vehicle is parked or stored at least 20.0m from any residential dwelling located on another parcel and at least 20.0m from every highway.
- (d) No more than two non-farm commercial vehicles may be parked or stored on a parcel in the A1 or A2 zones. For the purpose of this section, where a semi-trailer or trailer is attached to a motor vehicle or truck tractor that combination of commercial vehicles is deemed to be a single commercial vehicle.
- (e) Sections a) through c) do not apply to the temporary parking of a commercial vehicle on a parcel for the purpose of delivering goods or materials to the parcel or collecting goods or materials from the parcel.

## 5. Keeping of Animals

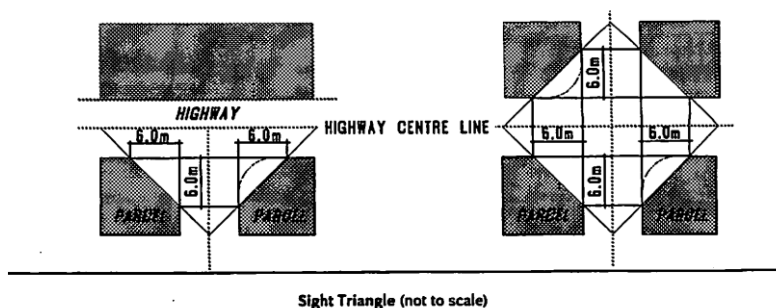
In all zones where agriculture, animal care or agricultural products processing is not a permitted use, the keeping of animals is restricted to the following:

- (a) pets
- (b) urban beekeeping

5.1 Notwithstanding the limitations of Subsection 5: “Keeping of Animals”, the following zones are designated as areas where “backyard poultry” may be permitted through a Temporary Use Permit in accordance with Section 492 of the *Local Government Act*: R1, R2, R3, R4, R6, R11, R12, R13, R15, R16 and R17, provided that the parcel size is a minimum of 1,000m<sup>2</sup>.

## 6. Setbacks – Sight Triangle

On a corner parcel in any zone there shall be no obstruction to the line of vision between the heights of 1.0m and 3.0m above the established grade of a highway within the sight triangle, being a triangular area formed by extending a 6.0m boundary along the parcel lines from the point of the exterior corner intersection of the parcel lines and a line connecting these two points as illustrated below:



## 7. Setbacks – Watercourses, excluding the sea

- (a) On parcels containing a watercourse, or adjacent to another parcel containing a watercourse, with an average slope of bank of 5% or less, no building or structure shall be constructed, altered, moved or extended, within the following setbacks:
  - i) within 15.0m horizontal distance from the natural boundary or within 18.0m horizontal distance from a stream centre line, whichever is greater, as illustrated in Table 1 and Table 2 of Schedule '3D' - Setbacks from Watercourses;
  - ii) within 30.0m horizontal distance from the natural boundary of the Little Qualicum River.
- (b) On parcels containing a watercourse, or adjacent to another parcel containing a watercourse, with an average slope of bank greater than 5%, no building or structure shall be constructed, altered, moved or extended, within the following setbacks:
  - i) within 15.0m horizontal distance from the top of the slope or the first significant and regular break in the slope, whichever is greater, as illustrated in Table 3 of Schedule '3D' – Setbacks from Watercourses; or
  - ii) within 30.0m horizontal distance from the natural boundary of the Little Qualicum River.

**8. Setbacks – Sea**

On parcels adjacent to or containing a coastal watercourse, no building or structure shall be constructed, altered, moved or extended within 15.0m horizontal distance:

- (a) from the natural boundary; or
- (b) inland from the top of a slope of 30% or greater.

**9. Setbacks - Agricultural Buildings**

All buildings and structures for housing animals, other than pets, and for the storage of manure shall be a minimum of 30.0m from a watercourse or any property line adjoining a residential zone.

**10. Setbacks to Major Roads**

Notwithstanding the regulations for setbacks within all zones of the Bylaw or any other regulation within this Bylaw, buildings or structures shall not be closer than:

20.0m from the centre line of the proposed right-of-way alignment of arterial and collector roads where no right of way currently exists as shown on the Town of Qualicum Beach Official Community Plan, Bylaw No. 800, 2018, Schedule 2.3, Major Road Network.

**11. Setbacks to Underground Structures**

The whole or any part of a structure below finished ground elevation may be sited on any portion of a lot in any zone except the R1, R2, R4 and R6 zones.

**12. Setbacks to Swimming Pools**

Notwithstanding the regulations for setbacks within all zones of the Bylaw, swimming pools may be sited not less than 1.2m from any lot line except for a front lot line, where the required minimum setback for the Zone in which the swimming pool is located shall apply.

**13. Setbacks – Through Lot**

- (a) Notwithstanding the regulations for setbacks within all zones of this Bylaw, in the case of a through lot, the setback to one front lot line may be reduced to:
  - i) 1.2m for a swimming pool; and
  - ii) 2.5m for an accessory building that is greater than 10m<sup>2</sup> or 3.0m in height.provided that there is no vehicle access to the parcel from the highway abutting that front lot line.
- (b) Notwithstanding the regulations for setbacks within all zones of this Bylaw, in the case of a through lot where the average distance between the two highways running parallel or approximately parallel is less than 26.0m, the minimum setback requirement to both front lot lines may be reduced by 30%.
- (c) Notwithstanding the regulations for setbacks within all zones of this Bylaw, in the case of a through lot where one of the frontages contains a road right-of-way width less than 13.0m, the front lot line setback for the road right-of-way that has a width less than 13.0m is reduced from 8.0m to 3.0m.

**14. Setbacks – Features Allowed Within Setback Areas**

Gutters may project up to 0.2m into a required setback area.

**15. Height of Fence**

Notwithstanding the restrictions for the maximum height of a fence under the definition of structure within this Bylaw, a fence located within a required setback area that is:

- (a) part of a public school property may be constructed to a maximum height of 2.4m where it is adjacent to another lot or a railway right of way;
- (b) adjacent to Highway 19A (Island Highway West), Memorial Avenue, Rupert Road, Laburnum Road, Village Way (between Memorial Avenue and Highway 19A), and Jones Street may be constructed to a maximum height of 1.8m provided that the fence is screened from the road with a continuous hedge and or trees; or adjacent to a property line which separates a residential zoned lot from a commercial, industrial or institutional zoned lot may be constructed to a height of 2.0m.

**16. Temporary Buildings Erected in Conjunction with Building Construction**

- (a) The following uses, buildings or structures are permitted in conjunction with a building permit issued on the same parcel:
  - i) temporary buildings or structures erected for the purpose of shelter for construction or maintenance crews provided that they are not used for living accommodation and are removed upon occupancy of the principal building, or one year from the date of issuance of the building permit, whichever occurs first;
  - ii) temporary buildings, structures or recreational vehicles for the purpose of housing a security guard or watchman provided they are removed as soon as the principal building is secured from outside access, i.e. “lock up stage”, or five months from the date of issuance of the building permit whichever occurs first.
- (b) Notwithstanding the setback requirements of this Bylaw, temporary buildings, structure or recreational vehicles described in subsection a) shall be setback a minimum of 0.6m from any property line.

## 17. Density Bonuses

For permitted uses in zones that specifically reference this section under the heading “Density Bonus for Amenity”, the required site area may be reduced by the amounts in Table 17A – Density Bonuses to a maximum of 50%, provided that the required conditions are met.

<b>3.3 Table 17A: Density Bonuses</b>		
<b>Amenity</b>	<b>Required Conditions and Reduction in Minimum Site Area</b>	<b>Maximum Reduction</b>
<b>Underground Parking</b>	The required site area for residential uses may be reduced by an amount equal to 25% of the required site area multiplied by the percentage of on-site parking which is provided in an underground parking structure.	25%
<b>Energy Efficiency</b>	The Building must exceed the minimum Energy Step Code requirements in the BC Building Code, or as required by a Town Bylaw, whichever is greater. If no higher Energy Step Code can be achieved from what is required, no reduction will be given. A \$10,000 bond must be provided to the Town prior to issuance of a building permit, and will be returned after confirmation of the rating required for the necessary density bonus.	20%
<b>Electric Vehicle Infrastructure</b>	The required site area may be reduced by 10% if: <ul style="list-style-type: none"> <li>• at least one (1) parking space is equipped with an electric vehicle charging station (minimum 240 volt 20 amp);</li> <li>• 1-inch conduit is installed between the electrical room and 50% of the parking stalls; and</li> <li>• the electrical room includes sufficient space for the future installation of electrical equipment necessary to provide a receptacle to accommodate use by electric charging equipment for 50% of the onsite parking stalls.</li> </ul>	10%

## 18. Garage Sales

In any residential zone, a maximum of four (4) garage sales per calendar year may be held from one location and for no longer than three (3) consecutive days.



## 19. Backyard Poultry

The following regulations apply to Backyard Poultry:

- (a) up to a maximum of six;
- (b) there are no roosters, cockerels or peacocks;
- (c) structures to house chickens and ducks must comply with required setbacks and be kept clean;
- (d) poultry is not kept within a dwelling unit;
- (e) diseased poultry that are destroyed must have the carcass properly disposed of;
- (f) manure and waste is properly composted or disposed of;
- (g) poultry are contained on the property and do not trespass on public; property, private property, or unfenced land; and,
- (h) applicable standards from the “Canadian Agri-Food Research Council Code of Practice for the Care and Handling of Pullets, Layers and Spent Fowl” are followed.

## 20. Bed and Breakfast

The following regulations apply to a Bed and Breakfast:

- (a) must be conducted in conjunction with a single detached dwelling;
- (b) the guest sleeping rooms are contained within the dwelling unit;
- (c) the owner of the Bed and Breakfast business must reside in the dwelling while the bed and breakfast use is being carried out;
- (d) a maximum of one non-resident may be employed in the Bed and Breakfast business;
- (e) breakfast is served before noon; and,
- (f) the maximum number of guest sleeping rooms, and the maximum number of guests in addition to children under the age of sixteen under the care and supervision of such guests within the dwelling unit is as follows:

Lot Size	Max. Number of Sleeping Rooms	Max. Number of Guests
Less than 1400m <sup>2</sup>	2	4
1400m <sup>2</sup> to 1800m <sup>2</sup>	3	6
More than 1800m <sup>2</sup>	4	8

## 21. Home Occupation

The following regulations apply to Home Occupation:

- (a) the use of a dwelling unit for Home Occupation use is accessory to its residential use;
- (b) the Home Occupation use is conducted by a resident of the dwelling unit in which the Home Occupation is carried out;
- (c) a maximum of one non-resident may be employed in the home occupation use;
- (d) the Home Occupation use is confined to the interior of the dwelling unit and does not involve storage exterior of the unit of any materials or equipment used directly or indirectly in the processing of any product;
- (e) the maximum floor area of the dwelling unit used for Home Occupation use is 20%; or 50.0m<sup>2</sup> whichever is lesser;

- (f) the maximum number of clients or patrons on the property at any one time shall not exceed four people provided that only one customer receives service at any one time;
- (g) there is no sale on the parcel of a commodity not produced on the parcel;
- (h) parking is provided in accordance with Schedule '3B' – Off-Street Parking & Loading Spaces, Required Number of Off Street Parking Spaces, Table 2 and Table 3 of this Bylaw;
- (i) the Home Occupation use does not create a nuisance to the surrounding area by reason of unsightliness, odour, liquid effluent, dust, noise, fumes, smoke, radiation, broadcast interference, vibration, heat, hazard or glare, and does not involve material or products that produce inflammable or explosive vapours or gas under ordinary temperatures;
- (j) the Home Occupation does not involve the use of the dwelling unit for car repair, boat repair, engine repair, restaurant, retail food sales or kennels; and
- (k) the Home Occupation does not involve the presence of clients, patrons or customers within an apartment or townhouse complex that is not normally accessible to the general public;
- (l) no more than one non-illuminated business identification sign is erected in accordance with the "Town of Qualicum Beach Sign Bylaw No. 553, 1995"; and
- (m) there is a maximum of two Home Occupation uses per dwelling unit provided that only one home occupational use per parcel will involve deliveries, or the presence of customers, clients, patrons or a non-resident employee.

## **22. Urban Beekeeping**

The following regulations apply to Urban Beekeeping:

- (a) set back a minimum of 7.5m from any property line; or
- (b) situated a minimum of 2.5m above the ground; or
- (c) abutting a solid fence or hedge which has a height of 1.8m and extends a minimum of 6.0m along the property line on which the beehive structure is situated.

## **23. Screening.**

- (a) All exterior storage of bulk materials, including solid waste, compost and recycling containers, shall be completely screened from view.

## **24. Farm Retail Sales**

- (a) In the Agricultural Land Reserve, if agricultural products are being sold that are not produced on the farm on which the retail sales are taking place, not more than 50% of the total area of indoor and outdoor areas used for farm retail sales may be used for the sale of such products, and the total combined indoor and outdoor areas used for farm retail sales of all products inclusive of display and product storage areas, may not exceed 300m<sup>2</sup>.
- (b) Outside the Agricultural Land Reserve, farm retail sales are restricted to agricultural products produced on the farm on which the retail sales are taking place, and the total combined indoor and outdoor areas used for farm retail sales inclusive of display and product storage areas may not exceed 30.0m<sup>2</sup>.

### 3.4 Regulations for Each Zone

- a) (*For detailed regulations respecting each zone see Sections 3.4.11 to 3.4.132 in the following pages.*)
- b) The following zones are designated as areas where “cannabis-related businesses” may be permitted as a Temporary Use in accordance with Section 492 of the *Local Government Act*. Commercial 1 (C1), Commercial 9 (C9) and Institutional 1 (P1).
- c) **Development Permit Area: Residential Multi-Unit Housing: RMUH 1**  
Development Permit Area No. S1, includes the following zones: Residential 1 and Residential 2. Development Permits in this area shall substantially conform to the detailed “Interim Residential Design Guidelines” which is included in Part 5, and forms part of this Bylaw.

## Section 3.4.11

**RURAL 1****A1****Permitted Uses**

Permitted Use	Required Site Area
a) Agriculture	n/a
b) Silviculture	n/a
c) Home Occupation Use	
d) Residential Use	
- Single Detached Dwelling Unit	
- Ancillary Dwelling Unit	
e) Equestrian Facilities *	
f) Bed and Breakfast	
g) Outdoor Private Assembly *	

\* Land within the Agricultural Land Reserve is subject to the *Agricultural Land Commission Act*; some uses may require special permission or may not be permitted.

**Maximum Number and Size of Buildings and Structures**

Accessory Buildings	Combined floor area 200m <sup>2</sup>
Dwelling units/parcel	
- Single Detached Dwelling Unit	1
- Ancillary Dwelling Unit	1
Height	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.5m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m
Parcel Coverage	20%

**Minimum Setback Requirements**

1. Buildings and structures for housing livestock or for storing manure:	
All lot lines	30.0m
2. All other buildings and structures:	
Front lot line	15.0m
Other lot line	7.5m

## Section 3.4.12

**RURAL 2****A2****Permitted Uses**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Agriculture	n/a
b) Silviculture	n/a
c) Home Occupation	
d) Outdoor Recreation	
e) Residential Use	
- Single Detached Dwelling Unit	
- Ancillary Dwelling Unit	
f) Bed and Breakfast	

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	Combined floor area 200m <sup>2</sup>
Dwelling units/parcel	
- Single Detached Dwelling Unit	1
- Ancillary Dwelling Unit	1
Height	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.5m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m
Parcel coverage	20%

**Minimum Setback Requirements**

1. Buildings and structures for housing livestock or for storing manure:	
All lot lines	30.0m
2. All other buildings and structures:	
Front lot line	15.0m
Other lot line	7.5m

## Section 3.4.13

**RURAL 3****A3****Permitted Use**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Agriculture	n/a
b) Silviculture	n/a
c) Home Occupation Use	
d) Residential Use	
- Single Detached Dwelling Unit	
- Ancillary Dwelling Unit	
e) Equestrian Facilities*	
f) Bed and Breakfast	
g) Outdoor Private Assembly*	

\* Land within the Agricultural Land Reserve is subject to the *Agricultural Land Commission Act*; some uses may require special permission or may not be permitted.

**Maximum Number and Size of Buildings and Structures**

Accessory Buildings	Combined floor area 200 m <sup>2</sup>
Dwelling units/parcel	
- single detached dwelling units	
a) on a parcel having an area less than 2.0 ha	1
b) on a parcel having an area of 2.0 ha or more	2
c) on a parcel having an area of less than 2.0 ha but the parcel was created under the provisions of Part 4, Section 4.4.6 of this Bylaw	2
d) ancillary dwelling unit	1 per single detached dwelling
Combined total of all dwelling units per parcel	4
Height	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.5m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m
Parcel coverage	20%

**Minimum Setback Requirements**

1. Buildings and structures for housing livestock or for storing manure:	
All lot lines	30.0m
2. All other buildings and structures:	
Front lot lines	15.0m
Other lot lines	7.5m

Section 3.4.14

**RURAL 4****A4****Permitted Uses**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Agriculture	n/a
b) Silviculture	n/a
c) Home Occupation Use	
d) Residential Use	
- Single Detached Dwelling Unit	
- Ancillary Dwelling Unit	
- Rural Rental Cottage	3,374m <sup>2</sup>
e) Equestrian Facilities	
f) Bed and Breakfast	
g) Outdoor Private Assembly	

**Maximum Number and Size of Buildings and Structures**

Accessory Buildings	Combined floor area 200 m <sup>2</sup>
Dwelling units/parcel	
a) Single Detached Dwelling Unit	2
- Ancillary dwelling unit	2
- Rural rental cottage	6
Height	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.5m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m
Parcel coverage	20%

**Minimum Setback Requirements**

1. Buildings and structures for housing livestock or for storing manure:	
All lot lines	30.0m
2. All other buildings and structures:	
Front lot lines	15.0m
Other lot lines	7.5m

Section 3.4.21

**COMMERCIAL 1****C1****Permitted Uses and Minimum Site Area**

Permitted Use	Required Site Area
a) Office	n/a
b) Personal Service Use	n/a
c) Public Assembly Use	n/a
d) Recreation Facility	n/a
e) Restaurant	n/a
f) Retail Store	n/a
g) Accessory Dwelling Units *	185m <sup>2</sup>
h) Public Parking Lot	n/a

\* Notwithstanding the Required Site Area, a minimum of four accessory dwelling units are permitted on each parcel regardless of parcel size.

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

Height	11.5m
Parcel coverage	75%

**Landscape Requirements**

20% of the lot must be landscaped.

**Minimum Setback Requirements**

Front lot line	1.0m
Interior side lot lines	1.5m
Interior side lot line adjacent to a lane	1.5m
Exterior side lot line	1.0m
Rear lot line	2.0m

Except:

- where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero.
- where any part of a parcel contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.



Section 3.4.22

**COMMERCIAL 2****C2****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Convenience Store	n/a
b) Hotel	
-each Unit	100m <sup>2</sup>
c) Neighbourhood Pub	n/a
d) Recreation Facility	n/a
e) Residential Use	100m <sup>2</sup>
f) Resort Condominium	
- per townhouse unit	325m <sup>2</sup>
- per apartment unit	200m <sup>2</sup>
g) Restaurant	n/a
h) Tourist Information Booth	n/a
i) Motel	n/a
- each unit	100m <sup>2</sup>
j) Public parking lot	n/a

**Maximum Number and Size of Buildings and Structures**

Dwelling units/ parcels (Residential Use)	1
Height	7.5m
Parcel coverage	40%

**Required Site Area**

The Required Site Area may be reduced by an amount equal to 25% of the Required Site Area multiplied by the percentage of on-site parking which is provided in an underground parking structure.

**Minimum Setback Requirements**

Front lot line	4.5m
Interior side lot lines	3.0m
Exterior side lot line	3.0m
Rear lot line	4.5m

Except:

- where any part of a parcel is adjacent to or contains a watercourse then the regulations in Sections 6.3 of General Regulations shall apply.
- that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.23

**COMMERCIAL 3****C3****Permitted Uses****Permitted Use**

- a) Gasoline Service Station

**Maximum Number and Size of Buildings and Structures**

Height	8.0m
Parcel coverage	75%

**Minimum Setback Requirements**

Front lot line	12.0m
Interior side lot lines	5.0m
Exterior side lot line	12.0m
Rear lot line	5.0m

Except that the setback for pump islands from a front lot line or exterior side lot line may be reduced to 5.0m.

Section 3.4.24

**COMMERCIAL 4****C4****Permitted Uses**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Office	n/a
b) Personal Service Use	n/a
c) Public Assembly Use	n/a
d) Recreation Facility	n/a
e) Restaurant	n/a
f) Retail Store	n/a
g) Accessory dwelling units – each unit*	100m <sup>2</sup>
h) Accessory Hotel – each unit	100m <sup>2</sup>

\* Notwithstanding the Required Site Area, a minimum of four accessory dwelling units are permitted on each parcel regardless of parcel size.

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

Height	11.5m
Parcel coverage	75%

Except that the maximum parcel coverage may be increased by an amount equal to the percentage of landscape provided at ground level in excess of 25% of the lot area, to a maximum parcel coverage of 80%.

Floor Area Ratio	2.01
------------------	------

**Landscape Requirements**

20% of the lot must be landscaped.

**Minimum Setback Requirements**

Front lot line	1.0m
Interior side lot lines	1.5m
Interior side lot line adjacent to a lane	1.5m
Exterior side lot line	1.0m
Rear lot line	2.0m

Except:

- where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero;
- that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.25

**COMMERCIAL 5****C5****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Office	n/a
b) Hotel	
- Each Unit	100m <sup>2</sup>
c) Neighbourhood Pub	n/a
d) Recreation Facility	n/a
e) Residential Use	100m <sup>2</sup>
f) Restaurant	n/a
g) Tourist Information Booth	
h) Motel	
- Each Unit	100m <sup>2</sup>
i) Hotel Condominium	
- First Unit	500m <sup>2</sup>
- Each Additional Unit	100m <sup>2</sup>

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel (Residential Use)	1
Height	7.5m
Parcel coverage	40%

**Required Site Area**

Where parking spaces are provided in an underground parking structure, the required site area for each additional unit in a Hotel, Hotel Condominium, or Motel may be reduced by an amount equal to 18m<sup>2</sup> multiplied by the percentage of the total on-site parking spaces which are provided in the underground parking structure.

**Minimum Setback Requirements**

Front lot line	4.5m
Interior side lot lines	3.0m
Exterior side lot line	3.0m
Rear lot line	4.5m

Except:

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.26

**COMMERCIAL 6****C6****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Convenience Store	n/a
b) Hotel	
- each unit	100m <sup>2</sup>
c) Neighbourhood Pub	n/a
d) Recreation Facility	n/a
e) Residential Use	100m <sup>2</sup>
f) Resort Condominium	
- per townhouse unit	325m <sup>2</sup>
per apartment unit	200m <sup>2</sup>
g) Restaurant	n/a
h) Tourist Information Booth	n/a
i) Motel	
each unit	100m <sup>2</sup>
j) Public parking lot	n/a
k) Liquor Store	n/a

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel (Residential Use)	1
Height	7.5m
Parcel Coverage	40%

**Required Site Area**

The Required Site Area may be reduced by an amount equal to 25% of the Required Site Area multiplied by the percentage of on-site parking which is provided in an underground parking structure.

**Minimum Setback Requirements**

Front lot line	4.5m
Interior side lot lines	3.0m
Exterior side lot line	3.0m
Rear lot line	4.5m

Except:

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.27

**COMMERCIAL 7****C7****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site</b>
a) Office	n/a
b) Personal Service Use	n/a
c) Public Assembly Use	n/a
d) Recreation Facility	n/a
e) Restaurant	n/a
f) Retail Store	n/a
g) Accessory dwelling units – each unit*	185m <sup>2</sup>
h) Public Parking Lot	n/a
i) Liquor Store	n/a
* Notwithstanding the Required Site Area, a minimum of four accessory dwelling units are permitted on each parcel regardless of parcel size	

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

Height	10.0m
Parcel Coverage	75%

**Landscape Requirements**

25% of the lot area shall be landscaped.

**Minimum Setback Requirements**

Front lot line	1.0m
Interior side lot lines	1.5m
Interior side lot line adjacent to a lane	1.5m
Exterior side lot line	1.0m
Rear lot line	2.0m

Except:

- where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero;
- where any part of a parcel contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.28

**COMMERCIAL 8****C8****Permitted Uses and Minimum Site Area**

Permitted Use	Required Site Area
a) Hotel	
- Each Unit	100m <sup>2</sup>
b) Neighbourhood Pub	n/a
c) Recreation Facility	n/a
d) Residential Use*	
- per townhouse unit	325m <sup>2</sup>
- per apartment unit	200m <sup>2</sup>
e) Resort Condominium	
- per townhouse unit	325m <sup>2</sup>
- per apartment unit	200m <sup>2</sup>
f) Restaurant	n/a
g) Motel	
- each unit	100m <sup>2</sup>
* Notwithstanding the Required Site Area, a minimum of four accessory dwelling units are permitted on each parcel regardless of parcel size	

**Maximum Number and Size of Buildings and Structures**

Height	7.5m
Parcel Coverage	40%

**Required Site Area**

The required site area may be reduced by an amount equal to 25% of the Required Site Area multiplied by the percentage of on-site parking which is provided in an underground parking structure.

**Minimum Setback Requirements**

Front lot line	4.5m
Interior side lot lines	3.0m
Exterior side lot line	3.0m
Rear lot line	4.5m

Except:

- a) where any part of a parcel contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.29

**COMMERCIAL 9****C9****Permitted Uses and Minimum Site Area**

Permitted Use	Required Site Area
a) Hotel	
- Each Unit	100m <sup>2</sup>
b) Neighbourhood Pub	n/a
c) Recreation Facility	n/a
d) Residential Use subject to any covenant registered on the Land under Section 219 of the <i>Land Title Act</i> *	
- per townhouse unit	325m <sup>2</sup>
- per apartment unit	200m <sup>2</sup>
e) Resort Condominium	
- per townhouse unit	325m <sup>2</sup>
- per apartment unit	200m <sup>2</sup>
f) Restaurant	n/a
g) Motel	
- each unit	100m <sup>2</sup>
h) Liquor Store	
* Notwithstanding the Required Site Area, a minimum of four accessory dwelling units are permitted on each parcel regardless of parcel size	

**Maximum Number and Size of Buildings and Structures**

Height	7.5m
Parcel Coverage	40%

**Required Site Area**

The required site area may be reduced by an amount equal to 25% of the Required Site Area multiplied by the percentage of on-site parking which is provided in an underground parking structure.

**Minimum Setback Requirements**

Front lot line	4.5m
Interior side lot lines	3.0m
Exterior side lot line	3.0m
Rear lot line	4.5m

Except:

- a) where any part of a parcel contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

**Parking**

Despite the parking requirement under 'Schedule 3B' of this Bylaw, required parking spaces for 'Residential Use' in this zone shall be the same as for 'resort condominium' use.



Section 3.4.30

**COMMERCIAL 10****C10****Permitted Uses**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Office	n/a
b) Personal Service Use	n/a
c) Public Assembly Use	n/a
d) Recreation Facility	n/a
e) Restaurant	n/a
f) Retail Store	n/a
g) Accessory dwelling units - each unit*	75m <sup>2</sup>
h) Accessory Hotel - each unit	75m <sup>2</sup>
* Notwithstanding the Required Site Area, a minimum of four units accessory dwelling units are permitted on each parcel regardless of parcel size	

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

Height	10.0m
Parcel coverage	75%

Except that the maximum parcel coverage may be increased by an amount equal to the percentage of landscape provided at ground level in excess of 25% of the lot area, to a maximum parcel coverage of 80%.

Floor Area Ratio	2.00
------------------	------

**Landscape Requirements**

20% of the lot must be landscaped.

**Minimum Setback Requirements**

Front lot line	1.0m
Interior side lot lines	1.5m
Interior side lot line adjacent to a lane	1.5m
Exterior side lot line	1.0m
Rear lot line	2.0m

Except:

- where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero;
- that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

## Section 3.4.31

**COMMERCIAL TOURIST 4****CT4****Permitted Uses and Minimum Site Area****Permitted Use****Required Site Area**

a) Office	n/a
b) Personal Service Use	n/a
c) Public Assembly Use	n/a
d) Recreation Facility	n/a
e) Restaurant	n/a
f) Retail Store	n/a
g) Accessory Dwelling Units – each unit	100m <sup>2</sup>
i) Accessory Short-term Rental Unit – each unit	100m <sup>2</sup>

**Density Bonus For Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

Height	11.5m
Parcel coverage	75%

**Landscape Requirements**

20% of the lot must be landscaped.

**Minimum Setback Requirements**

Front lot line	1.0m
Interior side lot lines	1.5m
Interior side lot line adjacent to a lane	1.5m
Exterior side lot line	1.0m
Rear lot line	2.0m

## Except:

- where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero;
- where any part of a parcel contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply
- that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.40

**COMPREHENSIVE DEVELOPMENT ZONE 1****CD1****General**

The CD1 Zone shall be developed in substantial compliance with the plans attached as Schedule 'A1', 'A2' and 'A3'

**Permitted Uses**

Despite the definition of 'resort condominium' in this Bylaw, 'resort condominiums' in the CD1 zone may be used for 'residential use' subject to any covenant registered on the land under Section 219 of the *Land Title Act*.

For building shown on Schedule 'A1' as follows:

Building A & B: Hotel, Resort Condominium, Restaurant, Accessory uses customarily ancillary to a hotel or resort use including spa, recreation facilities, licenced lounge, swimming pool and parking.

Building C,D,E,F,G & H: Resort Condominiums

**Maximum Number and Size of Buildings and Structures**

The maximum combined total of resort condominiums and hotel units for Building A and B shown on Schedule 'A1' shall be as follows:

Building A & B	24
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The maximum number of resort condominium units for other buildings shown on Schedule 'A1' shall be as

Building C	16
Building D	4
Building E	4
Building F	4
Building G	4
Building H	4

Height (for buildings shown on Schedule 'A1' as follows):

Building A	as shown on Schedule 'A3'
Buildings B & C	12.0m
All other buildings	9.0m

Despite any other provision of this Bylaw the maximum parcel coverage and floor area ratio shall apply to the CD1 Zone in its entirety and not to individual parcels that may be created by subdivision within the zone and shall be as follows:

Parcel coverage (combined total of all parcels within the CD1 Zone)	16%
Floor Area Ratio (combined total of all parcels within the CD1 Zone)	0.32

**Siting of Buildings**

Buildings shall not be sited in closer proximity to the boundaries of the CD1 Zone than shown on Schedule 'A1'.

**Landscaping & Screening**

Landscaping and screening shall be in accordance with the site plan attached as Schedule 'A1'.

**Parking**

Off-street parking shall be provided in accordance with the plan attached as Schedule 'A1' and 'A2'.

**Subdivision**

Subdivision of the CD1 Zone is permitted either under the *Land Title Act* or *Strata Property Act* provided the subdivision does not prevent development of the parent parcel in accordance with Schedule 'A1'. Parcels within the CD1 Zone are exempt from the minimum frontage requirement under Section 944 of the *Local Government Act*.







Section 3.4.41

**COMPREHENSIVE DEVELOPMENT ZONE 2****CD2****General**

The CD2 Zone shall be developed in substantial compliance with the plans attached as Schedule 'A1 & A2'.

**Permitted Uses**

- a) Townhouse
- b) Home occupation
- c) Bed & Breakfast

**Maximum Number and Size of Buildings and Structures**

The maximum number and size of buildings and structures shall be in accordance with Schedule 'A1' and 'A2'.

Townhouses	3
Height	9.1m
Parcel coverage	42%
Floor Area Ratio	0.84

**Minimum Setback Requirements**

Minimum setbacks to all property lines shall be in accordance with the site plan attached as Schedule 'A1'.

**Landscaping & Screening**

Landscaping and screening shall be in accordance with the site plan attached as Schedule 'A1'.

**Parking**

Parking shall be provided in accordance with the plan attached as Schedule 'A1'.











Section 3.4.42

**COMPREHENSIVE DEVELOPMENT ZONE 3****CD3****General**

The CD3 Zone shall be developed in substantial compliance with the plans and drawings attached as Schedule 'A1', 'A2', 'A3', 'A4', 'A5', 'A6' and 'A7'.

**Permitted Uses**

- a) Personal Care Facility
- b) Personal Care Utility
- c) Residential Use

**Maximum Number and Size of Buildings and Structures**

Personal Care Facility (max. no. of units)	90
Personal Care Unit (max. no. of units)	91
Residential Use (max. no. of units)	44
Parcel coverage (excluding underground parking & basement area)	35%
Floor Area Ratio (excluding underground parking & basement area)	1.00

**Height**

The maximum height of building and structures shall be in accordance with the elevation drawing attached as Schedules 'A3', 'A4' and 'A5'.

**Minimum Setback Requirements**

Minimum setbacks to all property lines shall be in accordance with the site plan attached as Schedule 'A1'.

**Landscaping and Screening**

Landscaping and screening shall be in accordance with the site plan attached as Schedule 'A6' and 'A7'.

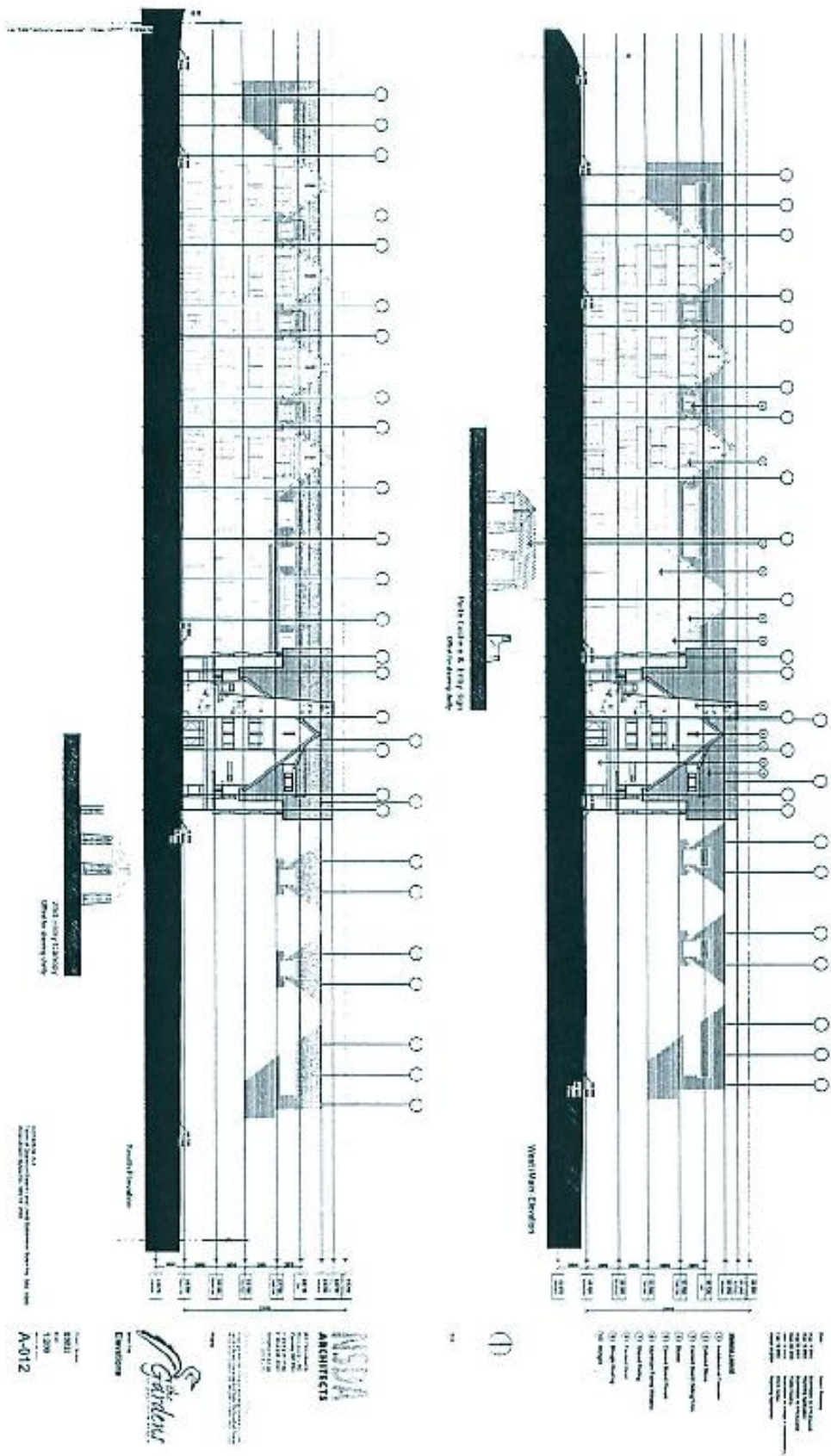
**Parking**

Off-street parking shall be provided in accordance with the plans attached as Schedule 'A1' and 'A2'.





SCHEDULE A3



03.03







### Illustrative Garden Section A-A



Scale: 1/8" = 1'-0"

**NSDA**  
ARCHITECTS  
1000 15th Street, Suite 100  
San Francisco, CA 94103  
Tel: 415.774.1111  
www.nsda.com

**Green Garden**  
Landscape Architecture  
1000 15th Street, Suite 100  
San Francisco, CA 94103  
Tel: 415.774.1111  
www.greengarden.com

Schedule A-7  
CD-3 Zone



Section 3.4.43

**COMPREHENSIVE DEVELOPMENT ZONE 4****CD4****General**

The CD4 zone shall be developed in substantial compliance with the plans attached as “Schedules ‘A2’, ‘A7’, ‘A9’, ‘A10’, ‘A12’, ‘A13’ and ‘A19’ of this zone.

**Permitted Uses and Minimum Site Area****Permitted Use****Required Site Area**

a) Residential Use	n/a
b) Office	n/a
c) Public Assembly	n/a
d) Recreation Facility	n/a
e) Restaurant	n/a

**Maximum Number and Size of Buildings and Structures**

Maximum Number of dwelling units per parcel	39
Maximum Number of dwelling units if the following conditions are met: <i>[amenity contributions yet to be determined]</i>	94
Height	19.0m
Parcel coverage	56%

**Minimum Setback Requirements**

Minimum setbacks to all property lines shall be in accordance with the site plan attached as Schedule ‘A2’

**Landscape Requirements**

Landscaping and screening shall be in accordance with the site plan attached as Schedule ‘A19’

**Parking**

Notwithstanding the parking requirements specified in Schedule ‘3B’ Required Number of Off Street Parking Spaces, parking shall be in accordance with the site plan attached as Schedule ‘A2’





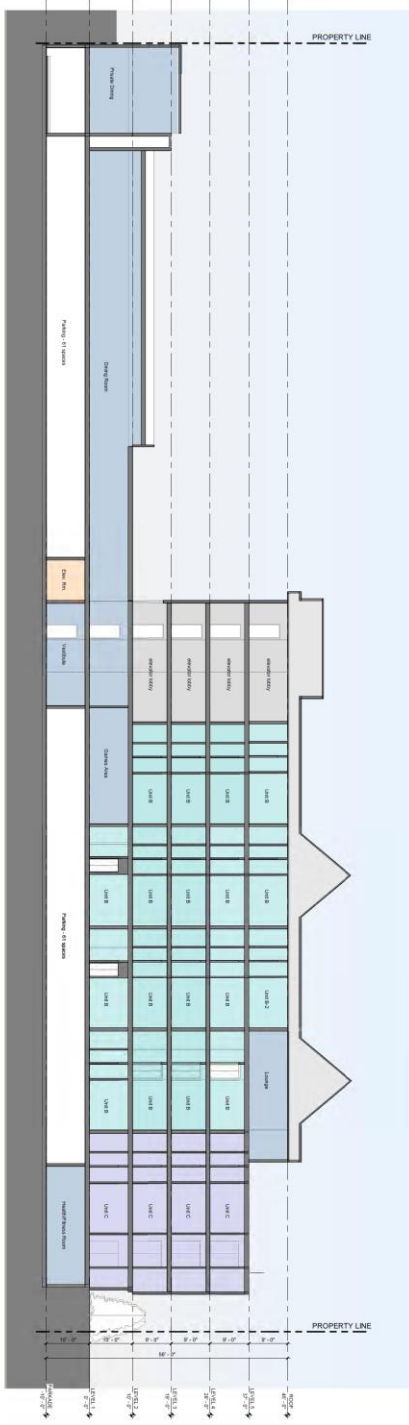
BERWICK QUALICUM BEACH

REZONING & DEVELOPMENT PERMIT

LEVEL 5 FLOOR PLAN  
3/32" = 1'-0"

A7





West-East Building Section



**BERWICK**  
RETIREMENT  
COMMUNITIES



**LOW HAMMOND ROWE ARCHITECTS**

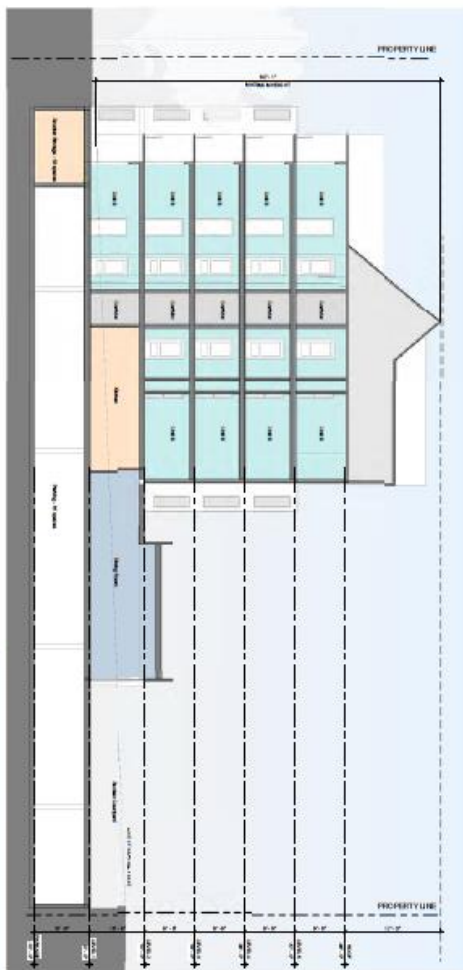
**BERWICK QUALICUM BEACH**

**REZONING & DEVELOPMENT PERMIT**

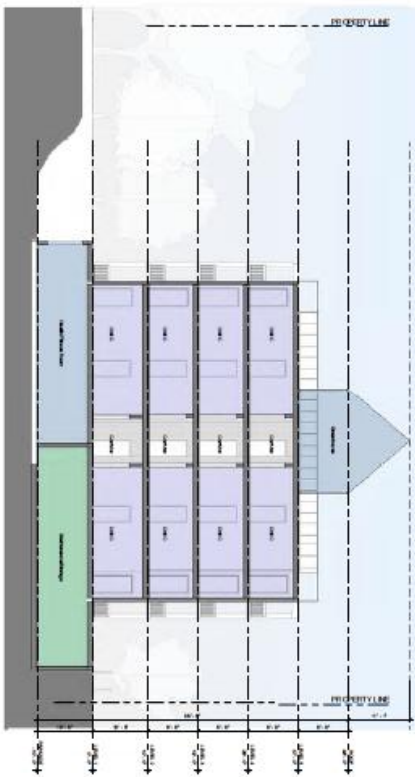
3/32" = 1'-0"

SECTIONS

**A9**



North-South Building Section



North-South Building Section



BERWICK RETIREMENT COMMUNITIES

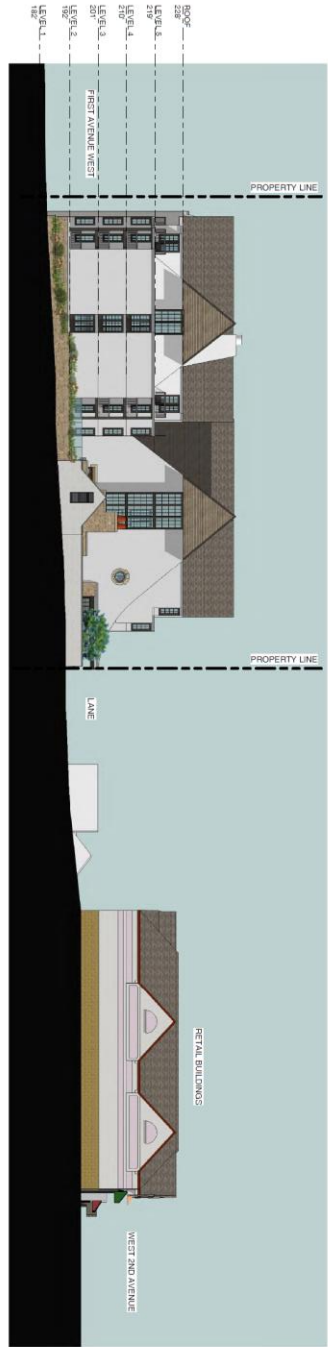
BERWICK QUALICUM BEACH

REZONING & DEVELOPMENT PERMIT

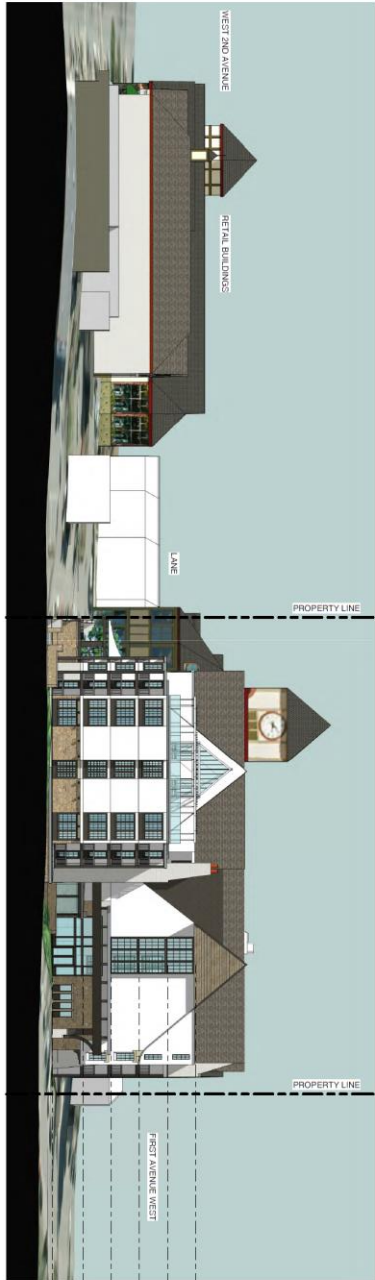
1/8" = 1'-0"

SECTIONS

A10



WEST ELEVATION



EAST ELEVATION



LOW HAMMOND ROWE ARCHITECTS

BERWICK QUALICUM BEACH

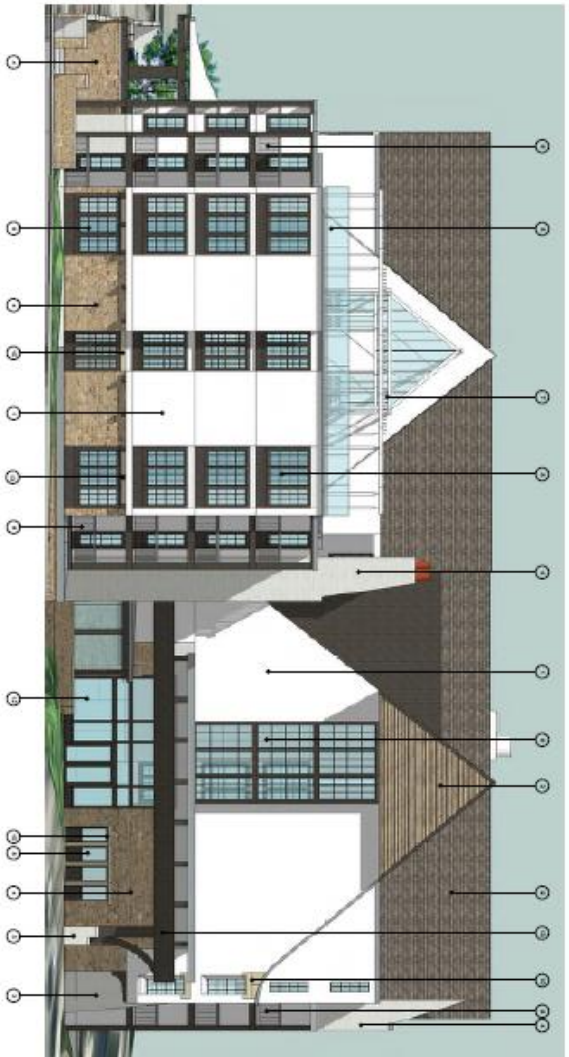
REZONING & DEVELOPMENT PERMIT

SITE ELEVATIONS

A12



- ELEVATION MATERIAL LEGEND**
- ① STUCCO BRICK SPANTS
  - ② HORIZONTAL BRICK
  - ③ BRICKWORK
  - ④ STONE
  - ⑤ ALUMINUM SASH/STAIRS
  - ⑥ PAINTED WOOD FINISH
  - ⑦ WOOD FINISH
  - ⑧ BRICK
  - ⑨ COMPOSITE METAL PANEL
  - ⑩ GYPSUM BOARD
  - ⑪ POLYMER FINISH
  - ⑫ BRICKWORK
  - ⑬ ALUMINUM SASH/STAIRS
  - ⑭ STUCCO BRICK SPANTS
  - ⑮ WOOD BRICK
  - ⑯ COMPOSITE METAL PANEL



LOW HAMMOND ROME ARCHITECTS

BERWICK QUALICUM BEACH

REZONING & DEVELOPMENT PERMIT

EXTERIOR FINISHES

A13



- A VEHICLE DROP-OFF/ON SPECIAL PARKING (SEEN BUILDING SIDE)
- B CONSERVATORY
- C PROFESSIONAL ENTRY GARDEN, CIVIC SPACE, AND/OR SPECIAL PLANTING
- D NEW SIDEWALK WITH FLOWERING PLANTS, & LIGHTING INCLUDES
- E FOUNDATION PLANTINGS
- F DECOMMITIVE UTILITY FENCE
- G RAIN GARDEN (CONCRETE/PAVED AND NOT PAVED STORAGE)
- H SMALL ACCENT TREES
- I CONCRETE TRAILS TO COURTYARD
- J SEATING AREA AT CORNER OF LAWN WITH SPECIAL PLANTING & LIGHT FIXTURES
- K HEDGE & WALKWAY
- L SOUTH TERRACE CIVIC WRESTLE ARENA, MIDDLE SPACE CHANGING, SPECIAL USE & SIDE LANTERN
- M LAWN ENTRANCE CIVIC SPECIAL PLANTING
- N ACCESSIBLE PAVED TO GARDEN LEVEL
- O OUTDOOR DRIVING TERRACE FOR ASSOCIATION, HEDGES & SPECIAL PLANTING OUTDOOR TREE TRAIL, HEDGES & SPECIAL PLANTING
- P WATER FEATURE WITH OVERLOOK FROM LAWN AND VIEW FROM SPAN ROOM
- Q FORMAL WATER SPACES CIVIC SEATING AREA, BENCHES, AND VISUAL PLANTINGS WITH TREES
- R TREE NURSERY FOR PLANTING
- S FOLLOW-UP/ON-HOUSE CIVIC STAINED GLASS WALL
- T PRIVATE DINING TERRACE
- U HOPE GARDEN TERRACE CIVIC LANDSCAPE, GARDENS
- V FORMAL, SPECIAL OPEN, ROOF AREA
- W STYLED PLANTING ALONG LAWN

**BERWICK**  
ATTIREMENT  
COMMUNITIES



**LIW HAMMOND ROWE ARCHITECTS**

**BERWICK QUALICUM BEACH**

**DEVELOPMENT PERMIT**

**4 SITE**  
LANDSCAPE ARCHITECTURE  
LAND SITE PLANNING



Landscape Plan

**A19**



Section 3.4.44

**COMPREHENSIVE DEVELOPMENT ZONE 5****CD5****Permitted Uses, Maximum No. Units and Maximum Floor Area**

<b>Permitted Use</b>	<b>Maximum No. of Units</b>	<b>Maximum Floor Area of Unit</b>
a) Golf Clubhouse	n/a	n/a
b) Golf Shop	1	200m <sup>2</sup>
c) Resort Accommodation	225	
i) Hotel/Stacked Condominium/Lodge	n/a	139m <sup>2</sup>
ii) *Cottages	100	110m <sup>2</sup>
iii) *Villas	100	232m <sup>2</sup>
* The combined number of Cottage and Villa units shall not exceed one (1) unit until the following is completed:		
<ul style="list-style-type: none"> <li>• A blanket easement must be registered on title to secure public access through the property; and,</li> <li>• An affordable housing contribution with a minimum value of \$2,000 per unit (\$450,000) will be made to the Town of Qualicum Beach or the property owner will construct (2) two 110sq.m. (1,100sq.ft.) resort cabins for the use of employees of the resort or other qualified residents of the Town.</li> </ul>		
* The combined number of Cottage and Villa units shall not exceed 100 units.		
* The following must be constructed within the CD5 Zoning Boundary within the first phase of development, prior to any further development:		
<ul style="list-style-type: none"> <li>• A Clubhouse;</li> <li>• A Brew Pub or Taphouse;</li> <li>• A Lodge/Hotel/Stacked Condominium building, or multiple buildings, with a minimum of 40 rooms;</li> <li>• 60 units of Villas and/or Cottages;</li> </ul>		
d) Restaurant	2	n/a
e) Neighbourhood Pub	1	n/a
f) Golf Teaching Centre	n/a	n/a
g) Camping Spaces	10	n/a
h) Outdoor Recreation	n/a	n/a
i) Outdoor Private Assembly	n/a	n/a
j) Personal Care Facility	n/a	n/a
k) Public Assembly	n/a	n/a
l) Recreation Facility	n/a	n/a
m) Seasonal Outdoor Theatre	n/a	n/a
n) Seasonal Outdoor Market	n/a	n/a
o) Accessory uses customarily ancillary to a Resort use including:		
i) Gift Shop		
ii) Convenience Store		
iii) Recreation Rentals		
iv) Laundry Facility		
v) Turf Maintenance		
vi) Swimming Pool		
vii) Employee Daycare Facility		
viii) Bed & Breakfast		
ix) Lock off Suite Accommodation		

### Size of Buildings and Structures

Height	
Clubhouse and Conference Building	18.0m
Spa/Fitness Centre	18.0m
Hotel/Stacked Condominium/Lodge	18.0m
All other Buildings	12.0m
Parcel Coverage	11%
Floor area ratio	0.17

### Minimum Setback Requirements

Front lot line (Nenzel Road)	20.0m
Exterior side lot line (Qualicum Road)	20.0m
Interior side lot line	20.0m
Rear lot line (Golf Course Lands)	6.0m

Where an interior lot line is formed between parcels zoned Comprehensive Development CD5, the interior lot line setback is 0.0m.

### Subdivision

Notwithstanding the regulations for minimum parcel size within this Bylaw, minimum parcel size in the CD5 zone is 0.2 hectares, except that the minimum parcel size for bare land strata lots is 150m<sup>2</sup>.

### Definitions

For the purpose of the CD5 zone, the following definitions are applicable:

**maximum floor area** means the sum total of the gross horizontal area of each floor of a building as measured from the outermost perimeter of the building walls, and does not include covered patios or outdoor living space attached to a villa unit to a maximum combined building footprint of 278sq.m. (3,000sq.ft.)

**resort accommodation** means the use of land, buildings, or structures for the purpose of providing both tourist oriented accommodation and/or year round residential occupancy, and which may include sleeping, cooking, laundry and recreational facilities, and includes stacked condominium, hotel and villa and cabin;

**hotel/stacked condominium** means a resort accommodation building or group of buildings providing three or more separate dwelling units, and which may be subdivided pursuant to the *Strata Property Act* and amendments thereto, providing accommodation on a permanent or temporary basis, and includes resort or lodge;

**cottage** means one self-contained resort accommodation unit with a separate entrance intended for providing accommodation on a permanent or temporary basis with complete living facilities for one or more persons, including provisions for living, sleeping, cooking and sanitation; but excludes a mobile home; recreational vehicle or tent;

**villa** means a self-contained resort accommodation unit with a separate entrance intended for providing accommodation on a permanent or temporary basis that may share some of its exterior walls in common with another dwelling unit, with complete living facilities for one or more persons, including provisions for living, sleeping, cooking and sanitation;

**resort amenity building** means a building providing space for resort amenities and services including but not limited to wellness facilities, concierge service, housekeeping, entertainment, restaurant,

licensed lounge, conference centre, spa and fitness centre, auditorium, theatre, recreation facility, gift shop, convenience store, recreation rentals, laundry facility, swimming pool.

**Parking**

Parking requirements for resort accommodation units will meet the requirements under Schedule '3B', Table 1: All Zones outside the 'Village Neighbourhood', Residential: multi-family dwelling unit excluding duplexes.

Section 3.4.45

**COMPREHENSIVE DEVELOPMENT ZONE 6****CD6****Maximum Number and Size of Buildings and Structures**

Maximum Number of Dwelling Units	1
Maximum Number of Dwelling Units if the following conditions are met:	10

**Density Bonus For Conditions**

- Make a contribution to the Town's Affordable Housing Reserve Account equal to 20% of the 2007 BC Assessment Authority land value of the subject property
- Make a contribution to the Town's Parks and Trails Maintenance and Improvements Reserve Account equal to 20% of the 2007 BC Assessment Authority Land value of the subject property
- Make a contribution of \$10,000 related to road safety improvement at or near the intersection of Railway Street and Memorial Avenue
- Provide "under building" parking as shown on Schedule 'P1'

**Density Bonus For Amenity**

Up to 1 additional 'accessory residential rental unit' is permitted for every 3 other dwelling units on the parcel, provided that a contribution of \$2,500 for each 'accessory residential rental unit' is made to the Town's Affordable Housing Reserve Account; and a covenant is entered into with the Town under Section 219 of the *Land Title Act* that prohibits subdivision of the 'accessory residential unit' from the other attached unit.

Height	as shown on Schedule A2
Parcel Coverage	55%
Floor Area Ratio	1.05

**Minimum Setback Requirements**

Minimum setbacks to all property lined shall be in accordance with the site plan attached as Schedule 'A1'.

**Landscape Requirements**

Landscaping and screening shall be in accordance with the Site Plan attached as Schedule 'A1'.

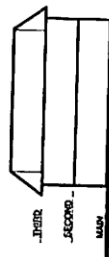
**Parking**

Parking shall be in accordance with the plan attached as Schedule 'P1'.

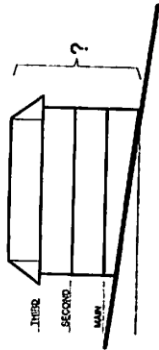


**WARNER  
JAMES  
ARCHITECTS**

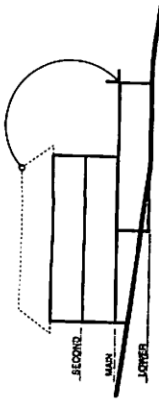
1000 W. 10TH AVENUE, SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1111  
WWW.WARNERJAMESARCHITECTS.COM



Permitted  
FLAT SITE

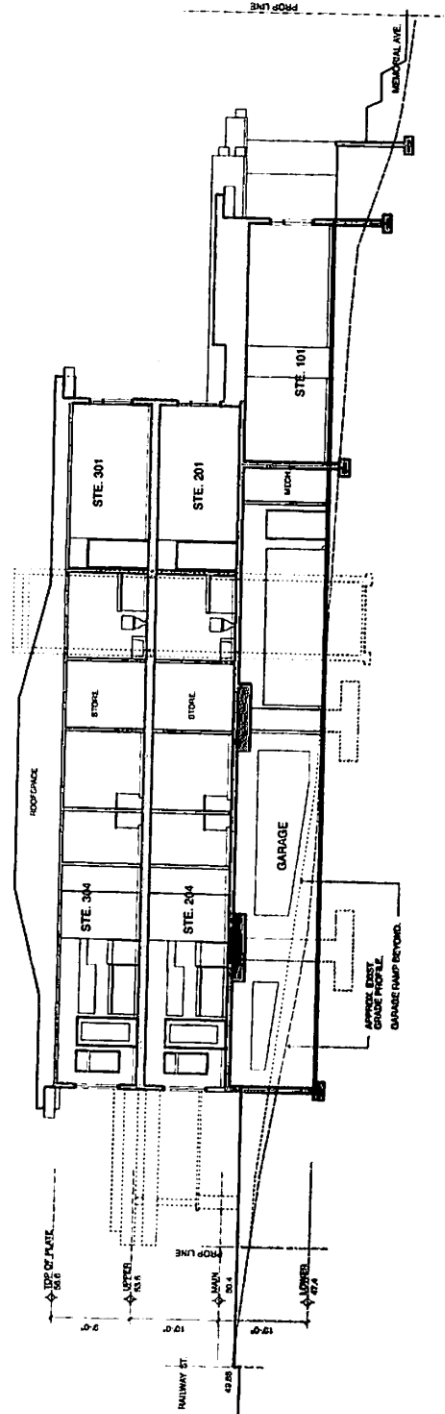


Permitted?  
SLOPED SITE



Proposed  
SLOPED SITE

1. BUILDING HEIGHT ANALYSIS



CROSS SECTION



NO.	DATE	DESCRIPTION

PROJECT NO.  
**THE RAILWAY**  
A 10 UNIT CONDOMINIUM  
ON A SLOPED SITE

DRAWING NO.  
**CROSS SECTION**

DATE	BY	CHECKED

PROJECT NO.  
**A-7**

SCHEDULE A2 (CD6)



Section 3.4.46

**COMPREHENSIVE DEVELOPMENT ZONE****CD7****General**

The CD7 zone shall be developed in substantial compliance with the plans attached as Schedule 'A1', 'A2', 'A3', 'A4', 'A5', 'P1', 'P2' and 'L1' of this Zone provided the Density Bonus Conditions of this section are met.

**Permitted Uses**

- a) Office
- b) Personal Service
- c) Public Assembly
- d) Recreation Facility
- e) Restaurant
- f) Retail Store
- g) Unrestricted Residential
- h) Home Occupation

The location of permitted uses on the site shall be in substantial compliance with the plans attached as Schedules 'A1', 'A2', and 'A3'.

In these regulations, "Unrestricted residential" means residential dwellings the occupancy of which is not restricted by strata corporation bylaws limiting the number or percentage of dwellings units in the Strata Plan in which the dwellings are located that may be rented to fewer than 25% of the dwelling units in the Strata Plan, or restricting the age of persons who may reside in a dwelling unit.

**Maximum Number and Size of Buildings and Structures**

Maximum Number of Dwelling Units	1
----------------------------------	---

Maximum Number of Dwelling Units if the following conditions are met:	42
-----------------------------------------------------------------------	----

- a) Make a contribution to the Town's Affordable Housing Reserve Account equal to 15% of the appraised value of the land determined by a registered professional appraiser at the time of application for a building permit.
- b) That a registered professional architect and member of Architectural Institute of British Columbia certifies that:
  - i) the design and construction of the buildings in the Comprehensive Development 7 Zone, including all dwelling units, meets or exceeds the North Vancouver Adaptable Design Guidelines Level 1; and that a minimum of 50% of the dwelling units meet or exceed the Level 2 of the same guidelines.
  - ii) the design and construction of all buildings in the Comprehensive Development 7 Zone meets or exceeds an equivalency to the "Certified" LEED (Leadership in Energy and Environmental Design) standard.
- c) Make an infrastructure improvement contribution of \$50,000.00 to the traffic signalization at the intersection of Memorial Avenue, Fir Street and First Avenue.

**Density Bonus For Amenity**

Up to 1 additional 'accessory residential rental unit' is permitted for every 3 other dwelling units on the parcel, provided that a contribution of \$2,500 for each 'accessory residential rental unit' is made to the Town's Affordable Housing Reserve Account; and a covenant is entered into with the Town under Section 219 of the *Land Title Act* that prohibits subdivision of the 'accessory residential unit' from the other attached unit.



Height	as shown on Schedule 'A4' and 'A5'
Parcel Coverage	as shown on Schedule 'A1'
Floor Area Ratio	as shown on Schedule 'A1', 'A2', and 'A3'

**Minimum Setback Requirements**

Minimum setbacks to all property lines shall be in accordance with the site plan attached as Schedule 'A1'.

**Landscape Requirements**

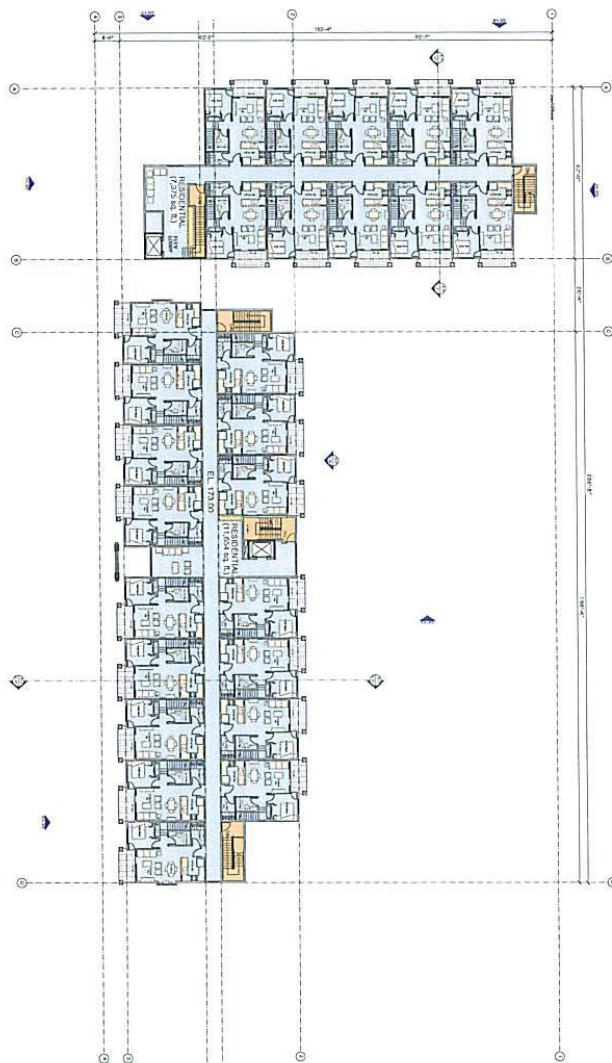
Landscaping and screening shall be in accordance with the Site Plan attached as Schedule 'L1'

**Parking**

Parking and storage for motor vehicles, bicycles and scooters shall be in accordance with Schedule 'P1' and 'P2'.



207.07  
 207.07 BY ADDN PLANS



General Building Data			
Year of Original Construction	Year of Renovation	Original Construction	Year of Renovation
1970	2007	1970	2007
Number of Floors	Number of Levels	Number of Floors	Number of Levels
10	10	10	10
Number of Units	Number of Units	Number of Units	Number of Units
100	100	100	100
Number of Apartments	Number of Apartments	Number of Apartments	Number of Apartments
100	100	100	100
Number of Commercial Units	Number of Commercial Units	Number of Commercial Units	Number of Commercial Units
0	0	0	0
Number of Industrial Units	Number of Industrial Units	Number of Industrial Units	Number of Industrial Units
0	0	0	0
Number of Other Units	Number of Other Units	Number of Other Units	Number of Other Units
0	0	0	0
Number of Units	Number of Units	Number of Units	Number of Units
100	100	100	100
Number of Units	Number of Units	Number of Units	Number of Units
100	100	100	100

# SCH - A2

**STH** STRATEGION AND  
 CONSULTING INC.  
 1000 SHEPPARD AVENUE EAST, SUITE 200  
 AURORA, ONTARIO L4B 1N2  
 TEL: (416) 291-1111  
 FAX: (416) 291-1112  
 WWW.STH.CA

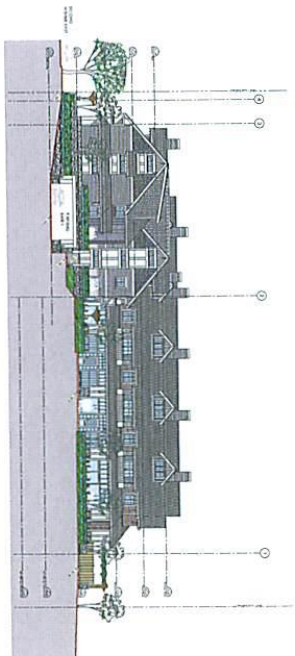
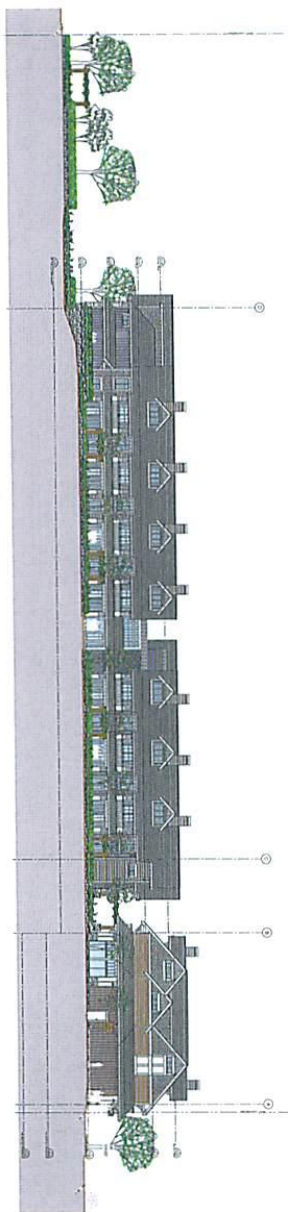
**MIXED USE  
 QUALCUM**

FLOOR PLAN 02

A.204



202 OF 202  
10/27/2016 10:45:00 AM



# SCH-A5

THIS DOCUMENT IS THE PROPERTY OF STAHLER CORP. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STAHLER CORP.

NO.	DESCRIPTION
1	1. 11/13/16
2	2. 11/13/16
3	3. 11/13/16
4	4. 11/13/16
5	5. 11/13/16
6	6. 11/13/16
7	7. 11/13/16
8	8. 11/13/16
9	9. 11/13/16
10	10. 11/13/16

**SH** STAHLER CORP.  
ARCHITECTS, INC.  
1000 W. 10TH AVENUE, SUITE 1000  
DENVER, CO 80202  
TEL: 303.733.1000  
WWW.STHALER.COM

**MIXED USE  
QUALICUM**

**NORTH & EAST  
ELEVATIONS**

NO.	DESCRIPTION
1	1. 11/13/16
2	2. 11/13/16
3	3. 11/13/16
4	4. 11/13/16
5	5. 11/13/16
6	6. 11/13/16
7	7. 11/13/16
8	8. 11/13/16
9	9. 11/13/16
10	10. 11/13/16





**DESIGN RATIONALE**

This project is a new building footprint, with a maximum size of 1.1 hectares, and a maximum height of 10 stories. The building footprint is located on the corner of Second Avenue East and Berwick Road. The site is bounded by Second Avenue East to the north, Berwick Road to the east, and Fir Street to the south. The site is currently vacant and has been previously used for industrial purposes. The building footprint is designed to be a modern, multi-story office building with a mix of office space, retail space, and public space. The building footprint is designed to be a sustainable building with a mix of green spaces, water features, and public spaces. The building footprint is designed to be a high-quality building with a mix of office space, retail space, and public space. The building footprint is designed to be a high-quality building with a mix of office space, retail space, and public space.

**PROPOSED PLAN VARIATION**

ITEM	PROPOSED PLAN	EXISTING PLAN	COMPARISON
1	Building Footprint	1.1 ha	1.1 ha
2	Green Space	0.2 ha	0.2 ha
3	Water Feature	0.1 ha	0.1 ha
4	Public Space	0.1 ha	0.1 ha
5	Other	0.0 ha	0.0 ha
<b>TOTAL</b>	<b>1.5 ha</b>	<b>1.5 ha</b>	<b>0.0 ha</b>

# SCH.L1



PROJECT  
MURKIN  
LDP-01

Project: 11 Kennedy St, Suite 101, St. John's  
Client: 11 Kennedy St, Suite 101, St. John's

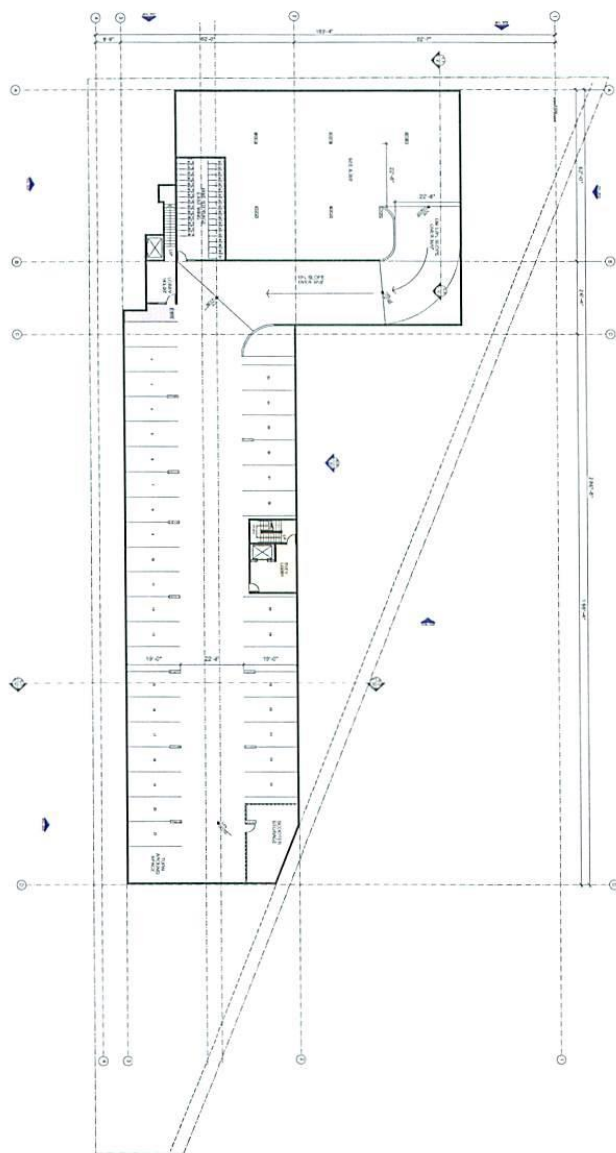
Architect:  
GENERAL  
LANDSCAPE  
DEVELOPMENT  
INC.

Project:  
MURKIN  
LANDSCAPE  
DEVELOPMENT  
INC.

Project:  
MURKIN  
LANDSCAPE  
DEVELOPMENT  
INC.



207 OF  
207 OF ADDITIONAL PLANS



DESCRIPTION	UNIT	QUANTITY	REMARKS
Reinforced Concrete	CUYD	1.00	
Concrete Slab	CUYD	1.00	
Concrete Wall	CUYD	1.00	

Notes:  
 1. Concrete Slab, 12" Thick  
 2. No. 4 Rebar @ 12" O.C.

# SCH.P1

**PROJECT:** [Project Name]

**DATE:** [Date]

**SCALE:** [Scale]

**DESIGNER:** [Designer Name]

**CHECKER:** [Checker Name]

**APPROVER:** [Approver Name]

**STAIRS:** [Stair Details]

**MIXED USE QUAILDOM**

**FLOOR PLAN 02**

**A.201**





Section 3.4.47

**COMPREHENSIVE DEVELOPMENT ZONE 8****CD8****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Home Occupation	n/a
b) Residential Use	
- one single detached dwelling	n/a
- ancillary dwelling unit	n/a
c) Bed and Breakfast	n/a

**Maximum Number and Size of Buildings and Structures**

Maximum size of building subject to any covenant registered on the Land under Section 219 of the *Land Title Act*

Accessory buildings	- combined floor area of 75m <sup>2</sup>
Height	
- Principal building	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.0m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m
- Accessory building	4.5m
Floor Area Ratio	0.65
Parcel coverage	45%

**Minimum Setback Requirements**

Front Lot line	- refer to CD8, Schedule A
Rear Lot line	
-Principal building	- refer to CD8, Schedule A
-Accessory buildings	
Floor area more than 10m <sup>2</sup> and over 3m in height	- 1.5m
Floor area no more than 10m <sup>2</sup> and no more than 3m in height	- 0m
Exterior Side Lot line	- refer to CD8, Schedule A
Interior Side Lot line	
-Principal building	- refer to CD8, Schedule A
-Accessory buildings	
Floor area more than 10m <sup>2</sup> and over 3m in height	- refer to CD8, Schedule A
Floor area no more than 10m <sup>2</sup> and no more than 3m in height	- 0m

**Minimum Parcel Size**

Notwithstanding the minimum parcel size and parcel shape requirements of Sections 4.4 and 4.6 of this Bylaw, the minimum parcel size and parcel shape in the CD8 zone shall be as shown on Schedule 'A' attached to the CD8 zone.



Section 3.4.48

**COMPREHENSIVE DEVELOPMENT ZONE 9****CD9****General**

The CD9 zone shall be developed in substantial compliance with the plans attached as "Schedule 'A1' (Site Plan and Parking), 'and 'L1' (Landscaping) of this zone.

**Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Residential Use	n/a
b) Public Assembly	n/a
c) Food Concessions	n/a

**Maximum Number and Size of Buildings and Structures**

Combined total of all dwelling units per parcel	37
Height	
- Service building	9.0m
- All other buildings	7.5m
Parcel coverage	35%

**Minimum Setback Requirements**

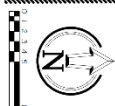
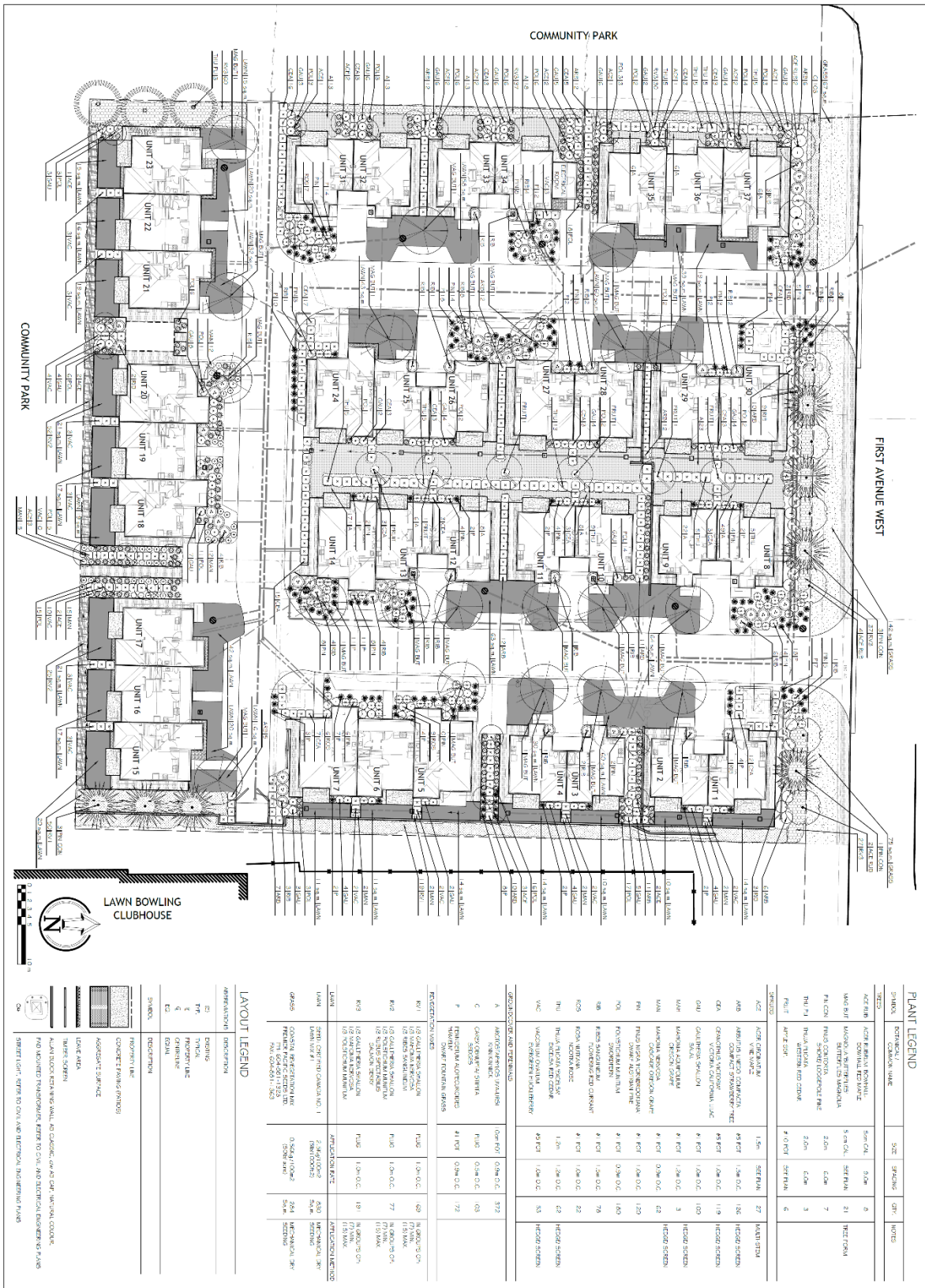
Minimum setbacks to all property lines shall be in accordance with the site plan attached as Schedule 'A1'

**Landscape Requirements**

Landscaping and screening shall be in accordance with the site plan attached as Schedule 'L1'

**Parking**

Notwithstanding the parking requirements specified in Schedule '3B' Required Number of Off Street Parking Spaces, parking shall be in accordance with the site plan attached as Schedule 'A1'



LAWN BOWLING CLUBHOUSE

SYMBOL	DESCRIPTION	DATE	BY	NOTES
1	CONCRETE FINISH	2015	CA	
2	PAVING	2015	CA	
3	LANDSCAPE	2015	CA	
4	UTILITIES	2015	CA	
5	STRUCTURE	2015	CA	
6	FINISH	2015	CA	
7	CONCRETE	2015	CA	
8	PAVING	2015	CA	
9	LANDSCAPE	2015	CA	
10	UTILITIES	2015	CA	
11	STRUCTURE	2015	CA	
12	FINISH	2015	CA	
13	CONCRETE	2015	CA	
14	PAVING	2015	CA	
15	LANDSCAPE	2015	CA	
16	UTILITIES	2015	CA	
17	STRUCTURE	2015	CA	
18	FINISH	2015	CA	
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20	PAVING	2015	CA	
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23	STRUCTURE	2015	CA	
24	FINISH	2015	CA	
25	CONCRETE	2015	CA	
26	PAVING	2015	CA	
27	LANDSCAPE	2015	CA	
28	UTILITIES	2015	CA	
29	STRUCTURE	2015	CA	
30	FINISH	2015	CA	
31	CONCRETE	2015	CA	
32	PAVING	2015	CA	
33	LANDSCAPE	2015	CA	
34	UTILITIES	2015	CA	
35	STRUCTURE	2015	CA	
36	FINISH	2015	CA	
37	CONCRETE	2015	CA	

#	Date	NOTES
1	13MAR2015	Receiving Application
2	24MAR2015	Revised Application
3	06MAY2015	50% N.C. Housing Submission
4	23FEB2016	Final Review
5	23FEB2016	Issued for Tender
6	02MAY2016	Issued for Construction
7	24JUN2016	Revised Application
8	24JUN2016	Final Approval

**PLANTING PLAN**

Date: February 24, 2015  
 Drawn: CA  
 Checked: CM/ HG  
 Scale: 1:200 metric  
 Project Number: 12-0074

DRAWING NUMBER: **L1 of 1**



**Kiwanis Village**  
 Qualicum-Parksville  
 Kiwanis Housing Society  
 Qualicum Beach, BC

**macdonald gray**  
 84 Shorewood Drive, Parksville, BC V9P 1S1  
 TEL: 250-248-3089 FAX: 250-248-3089  
 www.macdonaldgray.ca



Section 3.4.49	
<b>COMPREHENSIVE DEVELOPMENT ZONE 10</b>	<b>CD10</b>
<b>Permitted Uses and Minimum Site Area</b>	
<b>Permitted Use</b>	<b>Required Site Area</b>
a) Home Occupation Use	n/a
b) Residential Use	
- single detached dwelling unit	n/a
- per duplex	500m
<b>Maximum Number and Size of Buildings and Structures</b>	
Accessory buildings	- n/a
Dwelling Units	Dwelling units shall be in accordance with the site plan attached as Schedule 'A4'
Height	
- Principal building	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.0m
- Deck line	8.0m
- Top of roof	9.0m
- Flat roof	8.0m
- Accessory building	4.5m
Floor Area Ratio	0.75
Parcel coverage	65%
<b>Minimum Setback Requirements</b>	
As show in the site plan attached as Schedule 'A4'	
<b>Except:</b>	
a. where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 General Regulations shall apply.	
b. That any roof overhang, eave, cornice or gutter may project to a maximum of 0.6m into any required setback area.	
<b>Parking</b>	
Notwithstanding the parking requirements specified in Schedule '3B' Required Number of Off Street Parking Spaces, parking be in accordance with the site plan attached as Schedule 'A4'	



Section 3.4.50

**COMPREHENSIVE DEVELOPMENT ZONE 11****CD11****General**

The CD11 zone shall be developed in substantial compliance with the plans attached as “Schedules ‘A101, ‘A201’, ‘A401, and ‘L1’ of this zone.

**Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Cafe	n/a
b) Hotel	n/a
c) Neighbourhood Pub	n/a
d) Recreation Facility	n/a
e) Restaurant	n/a

**Maximum Number and Size of Buildings and Structures**

Maximum Number of hotel rooms per parcel	25
Maximum Number of hotel rooms if the following conditions are met:	40
<ol style="list-style-type: none"> <li>1. <i>Provision of a public right of way and construction of a pathway along the length of the waterfront side of the subject property, as shown on Schedule ‘L1’</i></li> <li>2. <i>Construction of a 3.0m wide continuous pedestrian walkway to the south of the property, as shown on Schedule ‘L1’</i></li> </ol>	
Height	As shown on Schedule ‘A-301’
Parcel coverage	51%

**Minimum Setback Requirements**

Minimum setbacks to all property lines shall be in accordance with the site plan attached as Schedule ‘A-101’

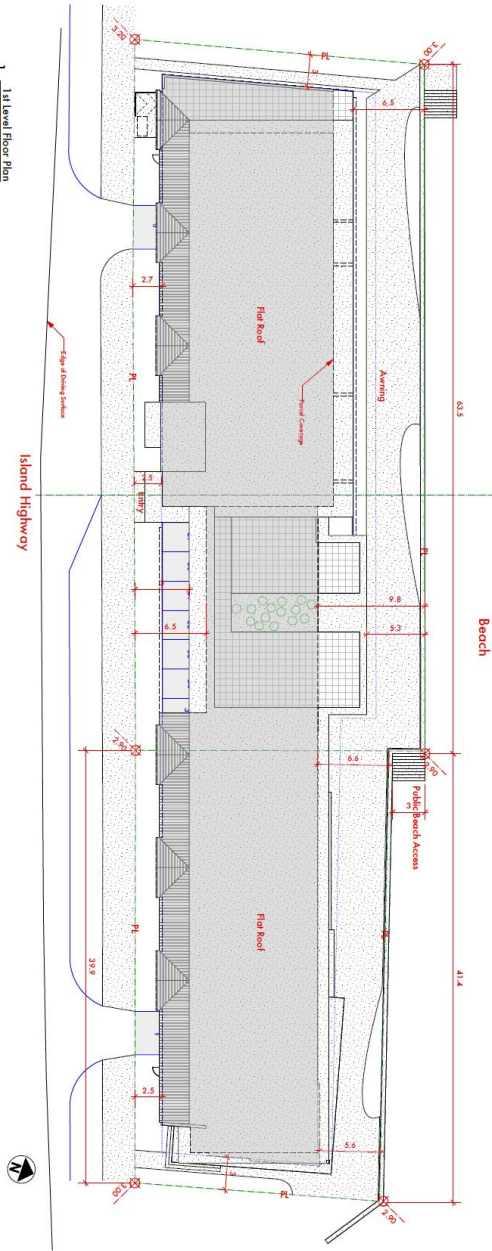
**Landscape Requirements**

Landscaping and screening shall be in accordance with the site plan attached as Schedule ‘L1’

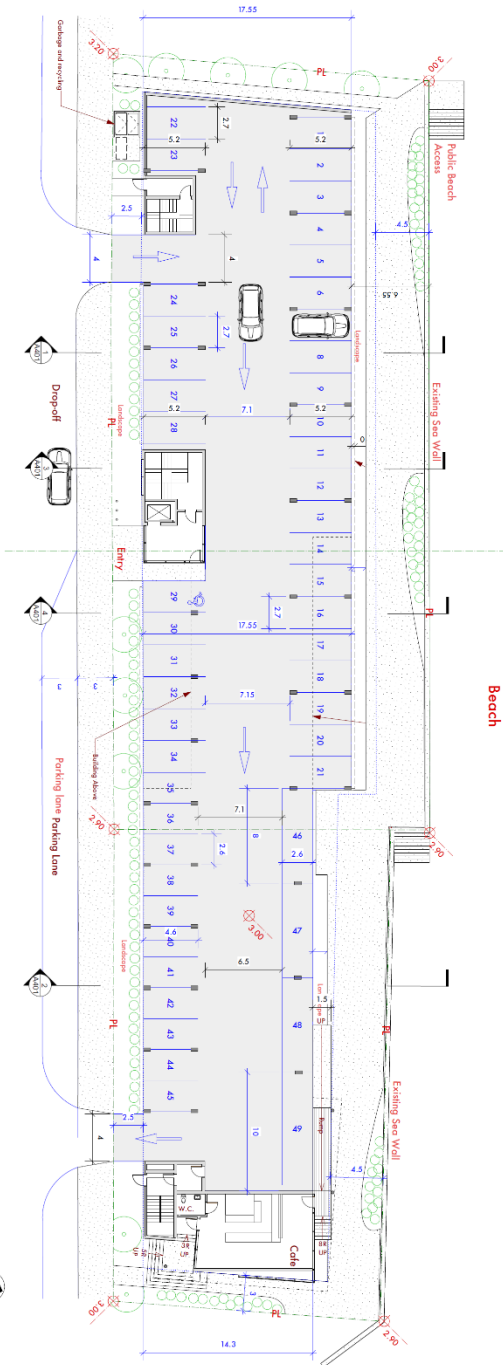
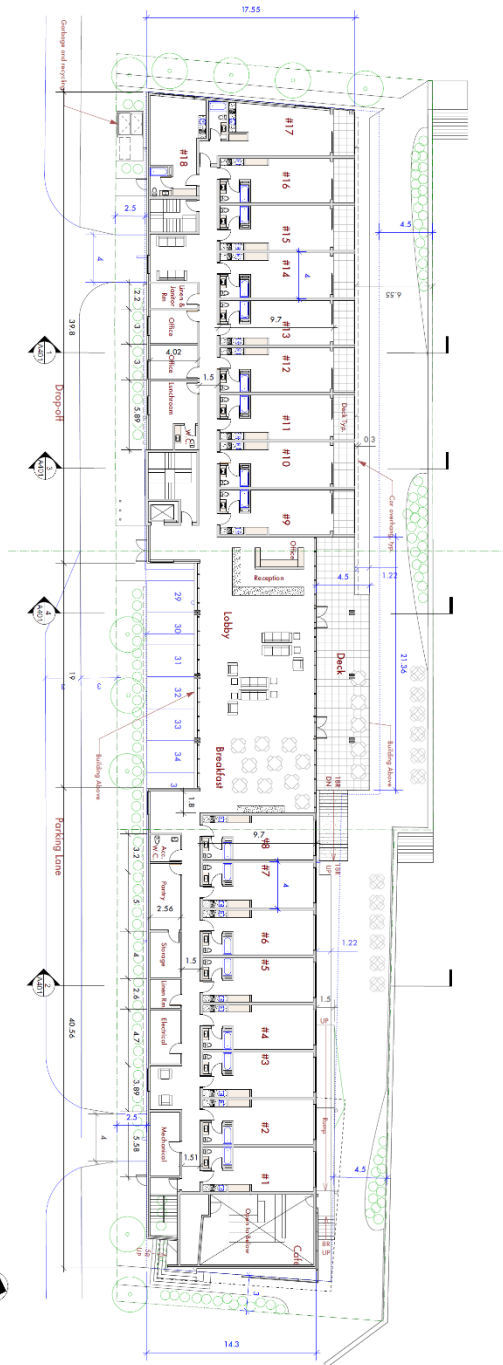




Project Summary		Allowed	Proposed
2757 - 2791 Island Highway	Commercial 2		
Current Zoning District	Hotel		
Use	Hotel		
Lot Area	100 sq m	2865 sq m	
Site Area Per Unit	230 Units	66.38 sq m	
No. of units	Max.	40 Units	
Building Height	7.5 m	7.65 m	
Building Area	Max.	1411 sq m	
Percent Coverage	40 %	53.345 %	
setbacks:			
Front	Min. 4.5 m	2.5 m	
Interior Side Lot	Min. 3 m	3 m	
Exterior Side Lot	Min. 3 m	3 m	
Rear Lot	Min. 4.5 m	6.5 m	
Parking Hotel	Per Unit 1 Stall	1 Stall	
Restaurant	10 sm	47 Stalls	
Total parking	Required	49 Stalls	
Gross Floor Area			
1st Level		212 sq m	
2nd Level		42 sq m	
3rd Level		1278 sq m	
4th Level		547 sq m	
Total Gross Floor Area		3470 sq m	



	Studio Seibel architects +engineers	2767/2751 Island Hwy. W Qualicum, BC	notes Studio Seibel, s+n inc. 566-570-7000 121 Avenue Avenue N. Vancouver, B.C. V5X 4V9 s+n@studioseibel.com
	page no. <b>A-101</b>	drawing SITE PLAN & PROJECT DATA	issue 1 1/2017 Revisions/Rev 3 2/2017 Revisions/Rev



Beach

**Sond Pebbles Inn**  
2767/2751  
Island Hwy W  
Qualicum, BC

**Studio Senbel**  
architectural  
interiors

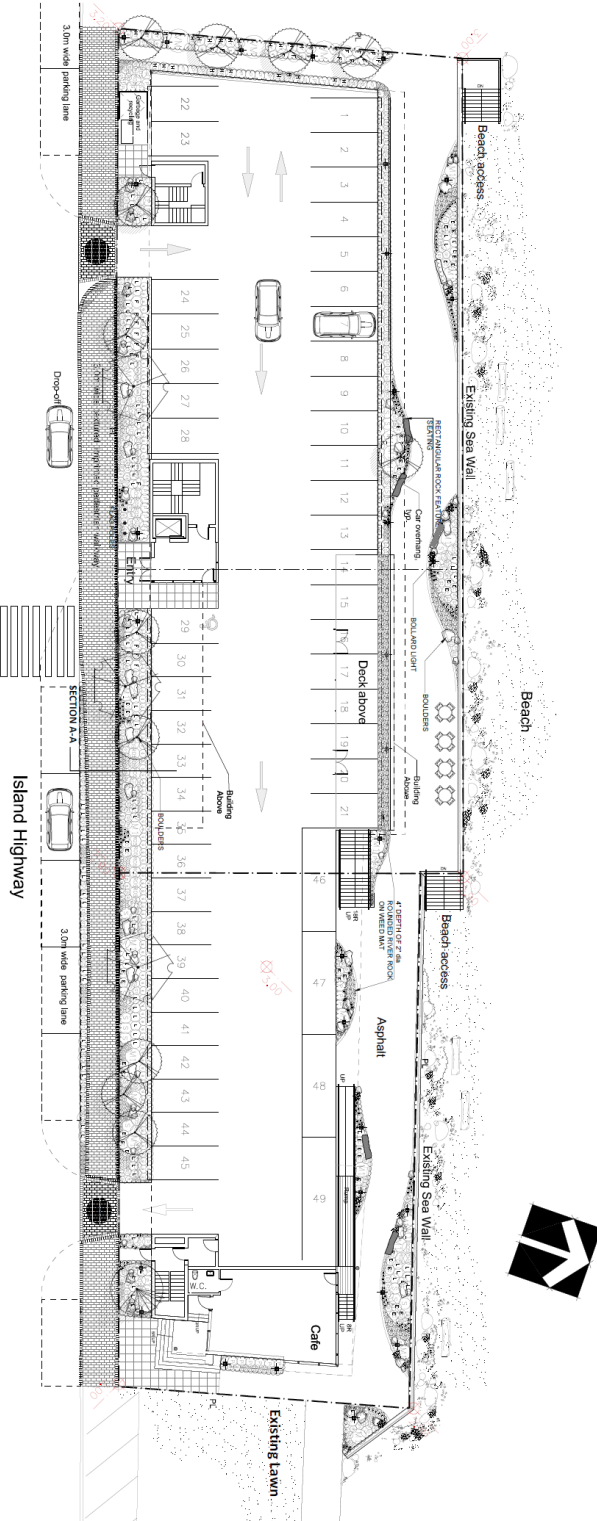
**notes**  
Studio Senbel, and inc.  
121 - 1085 East Keele Avenue N.  
Vancouver, B.C. V5X 4V9  
T: 604.605.6995  
www.studio-senbel.com

Issue	1	2	3
1	1/29/17	Revising App.	
2	3/29/17	Per Client Review	
3	3/24/17	Revising N.Y.	

drawing	page no.
<b>FLOOR PLANS</b>	<b>A-201</b>



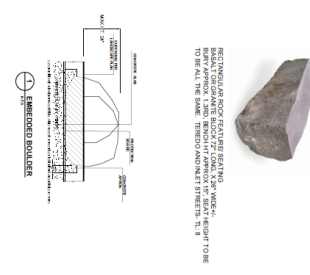
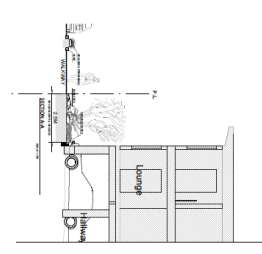




**PLANT SCHEDULE**

NO.	SYMBOL	COMMON NAME	PROP. PROJECT NUMBER: 16-222
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**rms**  
LANDSCAPE ARCHITECTS

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**SAND PEBBLES INN**  
287 - 2791 SAND HWY. W  
ROUND BAY BEACH

DATE: November 22, 2016  
SCALE: 1/8" = 1'-0"  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
PROJECT NUMBER: 16-222

LANDSCAPE PLAN  
OF 2

Section 3.4.51

**COMPREHENSIVE DEVELOPMENT ZONE 12****CD12****Permitted Uses and Minimum Site Area****Permitted Use**

- a) Condominium
- b) Apartment

**Maximum Number and Size of Buildings and Structures**

The maximum number and size of buildings and structures shall be in accordance with the plans attached as Schedule 'C-1 (Site Plan)'

Dwelling Units	34
Parcel coverage	40%

**Minimum Setback Requirements**

As shown on Site Plan C-1

**Landscaping & Screening**

Landscaping shall be in accordance with the site plan attached as Landscape Concept Layout

**Parking**

Notwithstanding the parking requirements specified in Schedule '3B' Required Number of Off Street Parking Spaces, parking to be in accordance with the submitted detailed parking assignment plan.

**SITE PLAN - 6 JULY rev 1 2017**



BRITISH COLUMBIA  
**bcca**  
 BRITISH COLUMBIA  
 CONDOMINIUM ASSOCIATION

REVISIONS  
 6-11-17 SITE PLAN UPDATE

**FIRST & BEACH  
 CONDOMINIUMS**

**PROJECT ADDRESS:**  
 LOT 20, 201 21<sup>ST</sup> STREET  
 GUALICAN BEACH BC  
**OWNER ADDRESS:**  
 7141 DAVENPORT AVENUE  
 VANCOUVER BC

**PROJECT No.** JK9  
**DESIGNED BY** BVR  
**APPROVED BY** BVR  
**DATE** 28-MAY-17  
**SCALE** 1:1,420-0

**SHEET**  
**NO.**  
**C-1**

**TITLE**  
**SITE PLAN**

Section 3.4.52

**COMPREHENSIVE DEVELOPMENT ZONE 13****CD13****Permitted Uses and Minimum Site Area****Permitted Use**

- a) Home Occupation Use
- b) Residential Use
  - single detached dwelling unit
  - per duplex
- c) Ancillary Dwelling Unit

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	- n/a
Dwelling Units	Dwelling units shall be in accordance with the site plan attached as Schedule 'A-4'
Height	
- Principal building	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.0m
- Deck line	8.0m
- Top of roof	9.0m
- Flat roof	8.0m
- Accessory building	4.5m
Parcel Coverage	
Single Detached Residential	45%
Duplex	55%

**Minimum Setback Requirements**

As shown in the site plan attached as Schedule 'Single Family Res – Concept' and 'Duplex – Plan Concept'

**Except:**

- a. where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 General Regulations shall apply.

**Parking**

Notwithstanding the parking requirements specified in Schedule '3B' Required Number of Off-Street Parking Spaces, parking to be in accordance with the site plan attached as Schedule 'A-4'.









Section 3.4.53

**COMPREHENSIVE DEVELOPMENT 15****CD15****Permitted Uses and Minimum Site Area**

Permitted Use	Required Site Area
a) Home Occupation Use	n/a
b) Residential Use	
- one single detached dwelling	n/a
- two single detached dwellings	2500m <sup>2</sup>
- ancillary dwelling unit	n/a
c) Bed and Breakfast	n/a

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	- combined floor area of 75 m <sup>2</sup>
Combined total of all dwelling units per parcel	3
Height	
- Principal building	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.0m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m
- Accessory building	4.5m
Parcel coverage	35%

**Minimum Setback Requirements**

Front lot line	8.0m
Rear lot line	
-Principal building	3.0m
- Part not more than 4.5m in height	6.0m
- Part more than 4.5m in height	
-Accessory building	
Floor area more than 10 m <sup>2</sup> or over 3 m in height and	
- Rear lot line abuts lane	2.5m
- Rear lot does not abut lane	1.5m
Floor area no more than 10 m <sup>2</sup> and under 3 m in height	0m
Exterior side lot line	4.5m
Interior side lot line	
-Principal building	1.5m
-Accessory buildings	
Floor area more than 10 m <sup>2</sup> or over 3 m in height	1.5m
Floor area no more than 10 m <sup>2</sup> and no more than 3m in height	0m
Interior side lot line adjacent to a lane	3.0m

**Provided**

that the aggregate total of the minimum distances from each interior side lot line to the principal building shall not be less than 4.5m.

**Except:**

where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.

Section 3.4.54

**COMPREHENSIVE DEVELOPMENT ZONE 16****CD16****Permitted Uses and Minimum Site Area****Permitted Use**

- a) Duplex

**Maximum Number and Size of Buildings and Structures**

The maximum number and size of buildings and structures shall be in accordance with the plans attached as Schedule 'Site Plan'

Dwelling Units	2
Parcel coverage	45%

**Minimum Setback Requirements**

As shown on 'Site Plan'

**Except:**

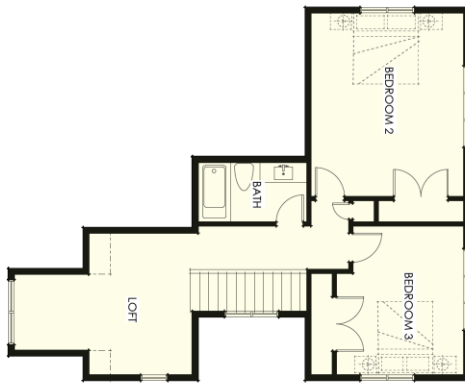
- a. Where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- b. That any roof overhang, eave, cornice or gutter may project to a maximum of 0.6m into any required setback area.

Section 3.4.55	
<b>COMPREHENSIVE DEVELOPMENT ZONE 18</b>	<b>CD18</b>
<b>Permitted Uses and Minimum Site Area</b>	
<b>Permitted Use</b>	<b>Required Site Area</b>
a) Home Occupation Use	n/a
b) Bed and Breakfast	n/a
b) Residential Use - single detached dwelling unit	n/a
<b>Maximum Number and Size of Buildings and Structures</b>	
Accessory buildings	- n/a
Dwelling Units	Dwelling units shall be in accordance with the site plan attached as Schedule 'Site Plan'
Height	
- Principal building	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.0m
- Mansard roof	
- Deck line	8.0m
- Top of roof	9.0m
- Flat roof	8.0m
Parcel coverage	55%
<b>Minimum Setback Requirements</b>	
As show in the site plan attached as Schedule 'Site Plan'	
<b>Except:</b>	
a. where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.	
b. That any roof overhang, eave, cornice or gutter may project to a maximum of 0.6m into any required setback area.	
<b>Parking</b>	
Notwithstanding the parking requirements specified in Schedule '3B' Required Number of Off Street Parking Spaces, parking be in accordance with the site plan attached as Schedule 'Site Plan'	





○ Main Floor Plan  
Floor Area = 1358 sq. ft.  
(Not Including Garage)



○ Upper Floor Plan  
Floor Area = 824 sq. ft.



○ East Elevation (Front)  
Scale = 3/16" = 1'-0"

Section 3.4.56

**COMPREHENSIVE DEVELOPMENT ZONE 19****CD19****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Residential	64m <sup>2</sup>
b) Office	n/a
c) Personal Service Use	n/a
d) Public Assembly Use	n/a
e) Recreation Facility	n/a
f) Restaurant	n/a
g) Retail Store	n/a

**Maximum Number and Size of Buildings and Structures**

Height	
- Building A	23.57m
- Building B	19.76m
Dwelling Units	72
Parcel coverage	90%

**Minimum Setback Requirements**

Front lot line	0m
Interior side lot lines	2.85m
Exterior side lot line	1.2m
Rear lot line to parking garage	0m

**Except:**

- a) where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero;

**Except:**

Where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations apply.



Section 3.4.57

**COMPREHENSIVE DEVELOPMENT ZONE 21****CD21****Permitted Uses and Minimum Site Area**

Permitted Use	Required Site Area
a) Residential Rental Tenure	n/a
b) Home Occupation	n/a

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	- n/a	
Dwelling Units	Dwelling units shall be in accordance with the site plan attached as 'Site Plan'	
Height		
- Principal building		
- Interior heated space		7.3m
- Ridge of gable, hip or gambrel sloped roof		9.5m
- Mansard roof		
- Deck line		8.0m
- Top of roof		9.0m
- Flat roof		8.0m
Parcel Coverage		35%

**Minimum Setback Requirements**

As shown in the site plan attached as 'Site Plan'

**Except:**

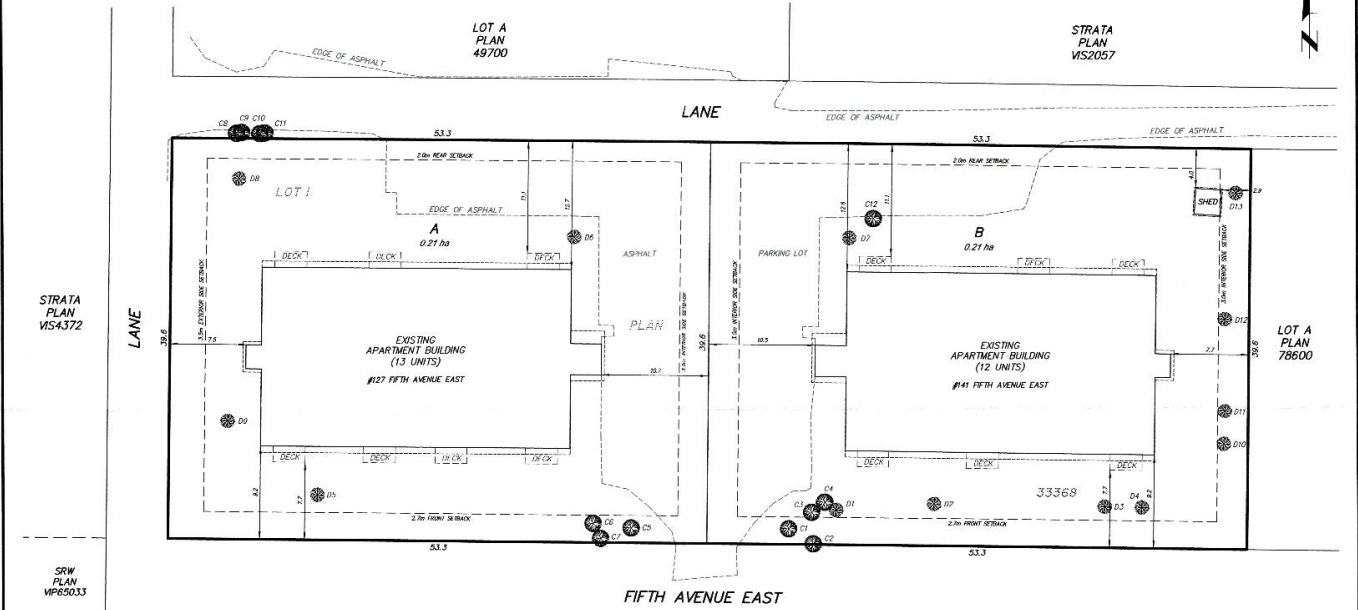
- where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations apply.
- That any roof overhang, eave, cornice or gutter may project to a maximum of 0.6m into any required setback area.

**Subdivision District**Notwithstanding the minimum Parcel size specified in Schedule '4B', the minimum parcel size for property within the 'Comprehensive Development Zone 21' shall be 2,000m<sup>2</sup>.

**PROPOSED SUBDIVISION PLAN OF LOT 1, DISTRICT LOT 78, NEWCASTLE DISTRICT, PLAN 33368**

SCALE 1:250

THE INTENDED PLOT SIZE IS 560mm IN WIDTH AND 430mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:250.



STRATA PLAN VS4372

SRW PLAN VP65033

TREE TABLE					
TREE #	DIAM. (m)	SPECIES	TREE #	DIAM. (m)	SPECIES
C1	0.17	SPRUCE	C6	0.20	FR
C2	0.40	FR	C7	0.30	FR
C3	0.20	FR	D5	0.20	FRUIT
C4	0.18	CEDAR	D6	0.20 (45)	DECIDUOUS
D1	0.15	MAPLE	D7	0.20 (45)	DECIDUOUS
D2	0.10 (x2)	DECIDUOUS	D8	0.45	WILLOW
D3	0.17	DECIDUOUS	D9	0.25	DECIDUOUS
D4	0.10	DECIDUOUS	D8	0.10	CEDAR
C5	0.22	SPRUCE	C9	0.13	CEDAR
C10	0.13	CEDAR			
C11	0.13	CEDAR			
C12	0.35	CEDAR			
D10	0.30	MAPLE			
D11	0.25	DECIDUOUS			
D12	0.37	MAPLE			
D13	0.20	MAPLE			

**PARCEL COVERAGE (LOT A)**  
 ALLOWED: 61.0%  
 PROPOSED: 27.9%

**FLOOR AREA RATIO (LOT A)**  
 ALLOWED: 2.3  
 PROPOSED: 1.9

**PARCEL COVERAGE (LOT B)**  
 ALLOWED: 61.0%  
 PROPOSED: 27.9%

**FLOOR AREA RATIO (LOT B)**  
 ALLOWED: 2.3  
 PROPOSED: 1.9

PARCEL DEPTH TABLE			
PARCEL	PERIMETER	DEPTH	RATIO
A	185.9m	47.7m	25.7%
B	185.9m	47.7m	25.7%

PARCEL FRONTAGE TABLE			
PARCEL	PERIMETER	FRONTAGE	RATIO
A	185.9m	146.2m	78.6%
B	185.9m	106.6m	57.3%

Section 3.4.65

**COMMERCIAL RESIDENTIAL 1****(CR1)****Permitted Uses and Minimum Site Area**

Permitted Use	Required Site Area
a) Office use	n/a
b) Personal Service Use	n/a
c) Public Assembly Use	n/a
d) Recreation Facility	n/a
e) Restaurant	n/a
f) Retail Store	n/a
g) Dwelling Units – each unit	185m <sup>2</sup>
h) Public Parking Lot	n/a

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

Height	10.0m
Parcel coverage	75%

**Landscape Requirements**

20% of the lot must be landscaped.

**Minimum Setback Requirements**

Front lot line	1.0m
Interior side lot lines	1.5m
Exterior side lot line	1.0m
Rear lot line	2.0m

Except:

- a) where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero;
- b) where any part of a parcel contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply
- c) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.70

**CONSERVATION 1****E1****Permitted Uses****Permitted Use**

- a) Historic site
- b) Natural site

**Maximum Number and Size of Buildings and Structures**

Height	8.0m
Parcel coverage	5%

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	5.0m

Section 3.4.71

**CONSERVATION 2****E2****Permitted Uses**

- a) Ecological Conservation and Education
- b) Natural Site
- c) Residential Use

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel	1
Height	8.0m
Parcel coverage	

**Minimum Setback Requirements**

Lot line abutting Highway No. 19A	75.0m
Other lot lines	8.0m

Except where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply

Section 3.4.72

**CONSERVATION 3****E3****Permitted Uses**

- a) Natural Site
- b) Residential Use

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel	1
Height	8.0m
Parcel coverage	1%

**Minimum Setback Requirements**

All lot lines	15.0m
---------------	-------

Except where any part of a parcel is adjacent to or contains a watercourse then the Regulations in Section 3.3 of General Regulations shall apply.

Section 3.4.80

**RECREATION 1****F1****Permitted Uses****Permitted Use**

- a) Outdoor Recreation
- b) Residential Use
- c) Public Assembly Use
- d) Recreation Facility

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel	1
Height	9.0m
Parcel coverage	20%

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	5.0m

Section 3.4.81

**RECREATION 2****F2****Permitted Uses****Permitted Use**

- a) Outdoor Recreation
- b) Residential Use

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel	1
Height	8.0m
Parcel Coverage	10%

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	5.0m



Section 3.4.82

**RECREATION 3****F3****Permitted Uses****Permitted Use**

- a) Golf Course

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel	1
Height	8.0m
Parcel Coverage	10%

**Minimum Setback Requirements**

All lot lines 8.0m

Except where any part of a parcel is adjacent to or contains a watercourse, then the regulation in Section 3.3 of General Regulations shall apply.

Section 3.4.83

**RECREATION 4****F4****Permitted Uses**

Golf Course

Clubhouse

Accessory Buildings

**Maximum Number and Size of Buildings and Structures**

Height

8.0m

Parcel Coverage

10%

**Minimum Setback Requirements**

All lot lines

8.0m

Except where any part of a parcel is adjacent to or contains a watercourse, then the regulation in Section 3.3 of General Regulations shall apply.

Section 3.4.90

**INDUSTRIAL 1****I1****Permitted Uses****Permitted Use**

- a) Heavy Equipment Display
- b) Light Industry
- c) Marshalling Yard
- d) Outdoor Sales
- e) Shipping Yard
- f) Transportation Terminal
- g) Recreation Facility
- h) Public Utility Use
- i) Public Parking Lot
- j) Accessory Dwelling Unit
- k) Animal Care

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

Accessory Dwelling units/parcel	1
Height	8.0m
Parcel Coverage	75%

**Minimum Setback Requirements**

Front lot line	6.0m
Exterior side lot line	6.0m
Other lot lines	3.0m

Except:

- a) where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero;
- b) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- c) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.91

**INDUSTRIAL 2****I2****Permitted Uses****Permitted Use**

- a) Marshalling Yard
- b) Shipping Yard
- c) Transportation Terminal
- d) Silviculture

**Maximum Number and Size of Buildings and Structures**

Height	8.0m
Parcel coverage	90%

**Minimum Setback Requirements**

Lot Line abutting a parcel zoned other than 'Industrial'	3.0m
All other lot lines	0.0m

Except where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.

Section 3.4.100

**INSTITUTIONAL 1****P1****Permitted Uses****Permitted Use**

- a) Church
- b) Public Assembly Use
- c) School
- d) Public Parking Lot
- e) Residential Use as an Accessory Use to a Church or School

**Maximum Number and Size of Buildings and Structures**

Dwelling units per parcel (Residential Use)	1
Height	
- Interior heated space	8.5m
- Ridge of gable, hip or gambrel sloped roof	10.0m
Mansard roof	
- deck line	9.0m
- top of roof	10.0m
Flat roof	9.0m
Parcel coverage	40%
Except that the maximum height of a school gymnasium shall not exceed 12.0m	

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	5.0m

Except that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.101

**INSTITUTIONAL 2****P2****Permitted Uses****Permitted Use**

- a) Charitable
- b) Educational
- c) Philanthropic
- d) Social
- e) Artistic
- f) Recreational
- g) Historical
- h) Residential Use
- i) Hospice

**Maximum Number and Size of Buildings and Structures**

Dwelling units per parcel	1
Height	9m
- Interior heated space	8.5m
- Ridge of gable, hip or gambrel sloped	10.0m
Mansard roof	
- deck line	9.0m
- top of roof	10.0m
Flat roof	9.0m
Parcel Coverage	40%
Except that the maximum height of a school gymnasium shall not exceed 12.0m	

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	5.0m

Section 3.4.102

**INSTITUTIONAL 3****P3****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Personal Care Facility	
b) Personal Care Unit	
c) Public Assembly Use	
d) Public Parking Lot	n/a
e) Residential Use	100m <sup>2</sup>

**Required Site Area**

The Required Site Area may be reduced by an amount equal to 25% of the Required Site Area multiplied by the percentage of on-site parking which is provided in an underground parking structure.

**Maximum Number and Size of Buildings and Structures**

Dwelling units (Residential Use)	1
Height	9.0m
Parcel Coverage	40%

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	5.0m

Except that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.103

**INSTITUTIONAL 4****P4****Permitted Uses****Permitted Use**

- a) Public Parking Lot

**Landscaping and Screening**

Landscaping and Screening must be provided as follows:

**Location**

- Setback requirement area
- Setback requirement area adjoining

**Minimum Height**

1.0m

**Minimum Setback Requirements**

All lot lines

1.0m



Section 3.4.104

**INSTITUTIONAL 5****P5****Permitted Uses**

Permitted Use

- a) Railway
- b) Train Station
- c) Public Utility Use

**Maximum Number and Size of Buildings and Structures**

Height	10.0m
Parcel coverage	5%

**Minimum Setback Requirements**

All lot lines	1.5m
---------------	------

Except that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.105

**INSTITUTIONAL 6****P6****Permitted Uses & Maximum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Personal Care Facility	n/a
b) Personal Care Unit	
i) each unit	200m <sup>2</sup>
ii) each unit where a housing agreement is entered into with the Town regarding the use of the property as a Personal Care Unit	100m <sup>2</sup>
c) Residential Unit	100m <sup>2</sup>

**Required Site Area**

The Required Site Area may be reduced by an amount equal to 25% of the Required Site Area multiplied by the percentage of on-site parking which is provided in an underground parking structure.

**Maximum Number and Size of Buildings and Structures**

Dwelling Units/parcel (Residential Use)	1
Height	
- Interior heated space	9.0m
- Roof	13.0m
Parcel coverage	35%
Floor Area Ratio	1.04

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	5.0m

Except that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.106

**INSTITUTIONAL 7****P7****Permitted Uses****Permitted Use**

- a) Church
- b) Public Assembly Use
- c) School
- d) Public Parking Lot
- e) Residential Use

**Maximum Number and Size of Buildings and Structures**

Dwelling units per parcel (Residential Use)	1
Height	
- Interior heated space	8.5m
- Ridge of gable, hip or gambrel sloped roof	10.0m
Mansard roof	
- deck line	9.0m
- top of roof	10.0m
Flat roof	9.0m
Parcel coverage	50%
Except that the maximum height of a school gymnasium shall not exceed 12.0m	

**Minimum Setback Requirements**

Front lot line	0m
Interior side lot lines	1.5m
Interior side lot line adjacent to a lane	1.5m
Exterior side lot line	0m
Rear lot line	0m

Except:

- a) where the adjoining parcel is zoned commercial or industrial then the setback from the common interior side lot line may be reduced to zero;
- b) where any part of a parcel contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply
- c) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.107

**INSTITUTIONAL 8****P8****Permitted Uses****Permitted Use**

- a) Public School

**Maximum Number and Size of Buildings and Structures****Height**

- Interior heated space	8.5m
- Ridge of gable, hip or gambrel sloped roof	10.0m
Mansard roof	
- deck line	9.0m
- top of roof	10.0m
Flat roof	9.0m
Parcel coverage	40%

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	5.0m

**Except:**

- a) where any part of a parcel contains a watercourse then the regulations in Section 3.3 of General Regulations apply
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.108

**INSTITUTIONAL 9****P9****Permitted Uses & Maximum Site Area****Permitted Use****Required Site Area**

a) Personal Care Facility	n/a
b) Personal Care Unit	
i) each unit	200m <sup>2</sup>
ii) each unit where a housing agreement is entered into	
c) Residential Unit	100m <sup>2</sup>

**Required Site Area**

The Required Site Area may be reduced by an amount equal to 25% of the Required Site Area multiplied by the percentage of on-site parking which is provided in an underground parking structure.

**Maximum Number and Size of Buildings and Structures**

Dwelling Units/parcel (Residential Use)	1
Height	
- Interior heated space	9.0m
- Roof	13.0m
Parcel coverage	46%
Floor Area Ratio	1.33

**Minimum Setback Requirements**

Front lot line	8.0m
Rear lot line	5.0m
Side lot line	3.0m

Except that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.110

**RURAL RESIDENTIAL 1****RR1**

<b>Permitted Uses &amp; Minimum Site Area</b>	
<b>Permitted Use</b>	<b>Required Site Area</b>
a) Home Occupation Use	n/a
b) Residential Use	
- ancillary dwelling unit	n/a
- one single detached dwelling	n/a
- two single detached dwellings	2500m <sup>2</sup>
c) Bed and Breakfast	n/a
d) Agriculture	n/a
<b>Maximum Number and Size of Buildings and Structures</b>	
Accessory buildings - combined floor area of	75m <sup>2</sup> per dwelling unit
Combined total of all dwelling units per parcel	2
Height	
-Principal building	
- Interior heated space	7.3m
- Ridge of a gable, hip or gambrel sloped roof	9.0m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m
- Accessory building	4.5m
Parcel coverage	35%
<b>Minimum Setback Requirements</b>	
Front lot line	8.0m
Rear lot line	
- Principal Building	
- Accessory building	
-Floor area more than 10 m <sup>2</sup> or over 3 m in height, and	
-rear lot line abuts lane	2.5m
-rear lot does not abut lane	1.5m
-Floor area no more than 10 m <sup>2</sup> , and no more than 3 m in height	0m
Exterior side lot line	4.5m
Interior side lot line	
- Principal building	1.5m
- Accessory buildings	
Floor area more than 10 m <sup>2</sup> or over 3 m in height	1.5m
Floor area no more than 10 m <sup>2</sup> and no more than 3 m in height	0.0m
Interior side lot line adjacent to a lane	3.0m
<b>Provided</b>	
that the aggregate width of all interior side lot line setbacks to a principal building shall not be less than 4.5m; and,	
<b>Except</b>	
where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.	

## Section 3.4.111

**RESIDENTIAL 1****R1**

**Purpose:** To provide a low density zone that will accommodate a diversity of housing types intended to fit into a predominantly suburban context, which includes single-detached dwelling, duplex, houseplex and ancillary dwelling units.

**Permitted Uses**

- a) Single Detached Dwelling
- b) Duplex
- c) Houseplex

**Accessory Uses**

- d) Ancillary Dwelling Unit
- e) Home Occupation
- f) Bed and Breakfast

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	- combined floor area of 75m <sup>2</sup>
Maximum number of dwelling units per parcel	4
Maximum number of strata lots	2
Height	
- Single Detached Dwelling or Duplex	9.0m
- Flat roof	8.0m
- Houseplex	11.0m
- Flat roof	10.0m
- Ancillary Dwelling Unit	6.5m
- Accessory Building	4.5m
Parcel coverage	55%

**Minimum Setback Requirements**

## Front lot line

- Ancillary Dwelling Unit
  - Less than 8.0m in width and under 6.5m in height 2.0m
  - More than 8.0m in width or 6.5m in height 6.0m
- Houseplex
  - Less than 8.0m in width and under 6.5m in height 2.0m
  - More than 8.0m in width and 6.5m in height 4.0m
- Front facing garage 6.0m
- Duplex or Single Detached Dwelling 6.0m

## Rear lot line

- Portion of an Ancillary Dwelling Unit not more than 8.0m in width and 6.5m in height 2.0m
- Portion of a Houseplex not more than 8.0m in width and 6.5m in height 2.0m
- Houseplex 6.0m
- Rear-facing garage 2.0m
- Duplex or Single Detached Dwelling 6.0m
- Accessory Building (floor area no more than 10m<sup>2</sup> and no more than 3m in height) 0m

**Exterior side lot line (6.0m sight triangle to be maintained)**

- |                                      |      |
|--------------------------------------|------|
| - Single Detached Dwelling or Duplex | 4.5m |
| - Ancillary Dwelling Unit            | 2.0m |
| - Accessory Building                 | 4.0m |

**Interior side lot line**

1.5m

- |                                                                                                 |      |
|-------------------------------------------------------------------------------------------------|------|
| - Accessory buildings (Floor area no more than 10m <sup>2</sup> and no more than 3 m in height) | 0.0m |
|-------------------------------------------------------------------------------------------------|------|

**Provided** that the aggregate total of the minimum distances from each interior side lot line to the principal building shall not be less than 4.5m.

**Except:**

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.



Section 3.4.112

**RESIDENTIAL 2****R2**

**Purpose:** To provide a low density zone that will accommodate a diversity of housing types intended to fit into the residential zones of the uptown area, which includes single-detached dwelling, duplex, houseplex and ancillary dwelling units.

**Permitted Uses**

- a) Single Detached Dwelling
- b) Duplex
- c) Houseplex

**Accessory Uses**

- d) Ancillary Dwelling Unit
- e) Home Occupation
- f) Bed and Breakfast

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	- combined floor area of 75m <sup>2</sup>
Maximum number of dwelling units per parcel	4
Height	
- Single Detached Dwelling or Duplex	9.0m
- Flat roof	8.0m
- Houseplex	11.0m
- Flat roof	10.0m
- Ancillary Dwelling Unit	6.5m
- Accessory Building	4.5m
Parcel coverage	55%

**Minimum Setback Requirements**

## Front lot line

- Ancillary Dwelling Unit
  - Less than 8.0m in width and under 6.5m in height 2.0m
  - More than 8.0m in width or 6.5m in height 4.0m
- Houseplex
  - Less than 8.0m in width and under 6.5m in height 2.0m
  - More than 8.0m in width and 6.5m in height 4.0m
- Front facing garage 6.0m
- Duplex or Single Detached Dwelling 6.0m

## Rear lot line

- Portion of an Ancillary Dwelling Unit not more than 8.0m in width and 6.5m in height 2.0m
- Portion of a Houseplex not more than 8.0m in width and 6.5m in height 2.0m
- Houseplex 6.0m
  - Rear-facing garage 2.0m
- Duplex or Single Detached Dwelling 6.0m
- Accessory Building (floor area no more than 10m<sup>2</sup> and no more than 3m in height) 0m

Exterior side lot line (6.0m sight triangle to be maintained)

- Houseplex	4.0m
- Single Detached Dwelling or Duplex	4.5m
- Ancillary Dwelling Unit	2.0m
- Accessory Building	4.0m
Interior side lot line	1.5m
- Accessory buildings (Floor area no more than 10 m <sup>2</sup> and no more than 3	0.0m

**Provided** that the aggregate total of the minimum distances from each interior side lot line to the principal building shall not be less than 4.5m.

**Except:**

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.113

**RESIDENTIAL 3****R3****Permitted Uses and Minimum Site Area****Permitted Use****Required Site Area**

a) Home Occupation Use	n/a
b) Residential Use	
- single detached dwellings	700m <sup>2</sup>
- per townhouse unit	325m <sup>2</sup>
- per apartment unit	200m <sup>2</sup>
c) Personal Care Unit	
(i) each unit	200m <sup>2</sup>
(ii) each unit where a housing agreement is entered into with the Town regarding the use of the property as a Personal Care Unit	100m <sup>2</sup>

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

## Height

- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.0m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m

## Parcel coverage

35%

**Minimum Setback Requirements**

All lot lines

8.0m

except:

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 6.3 of this Part shall apply.  
that any roof overhang, eave, cornice or gutter may project to a maximum of 1.0m into any
- b) required setback area.

Section 3.4.114

**RESIDENTIAL 4****R4****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Mobile Home Park - per mobile home	1.2ha 500m <sup>2</sup>
b) Single detached dwelling	500m <sup>2</sup>

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel	- mobile homes	Subject to Schedule '3C' of this Bylaw
	- single detached dwelling	1
Height		8.0m
Parcel coverage		40%

**Minimum Setback Requirements**

All lot lines 8.0m

except where:

- a) any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.

Section 6.4.115

**Residential 5 (R5)****R5****Permitted Uses and Minimum Site Area****Permitted Use****Required Site Area**

a) Home Occupation Use	n/a
b) Residential Use	
- single family dwelling	n/a
- secondary suite	n/a
- carriage house	n/a
- garden suite	n/a

**Maximum Number and Size of Buildings and Structures**

Accessory buildings, excluding garages and carriage houses - combined floor area of 10 m<sup>2</sup>

Single family dwellings 1

Combined total of all dwelling units per parcel 2

**Height**

- Principal building	
- Interior heated space	7.3 m
- Ridge of gable, hip or gambrel sloped roof	9.0 m
- Mansard roof	
- Deck line	8.0 m
- Top of roof	9.0 m
- Flat roof	8.0 m
- Accessory building	4.5 m

Parcel coverage 55 %

**Minimum Setback Requirements**

Front lot line 4.0m

Rear Lot Line 3.0 m

Exterior side lot line 1.5 m

Interior side lot line 1.5 m

**Except:**

- where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3 of this Part shall apply.
- That any roof overhang, eave, cornice or gutter may project to a maximum of 0.6m into any required setback area.

Section 3.4.116

**RESIDENTIAL 6****R6****Permitted Uses and Minimum Site Area****Permitted Use****Required Site Area**

a) Residential Use-per dwelling unit

400m<sup>2</sup>**Maximum Number and Size of Buildings and Structures**

Accessory Buildings

Not permitted

Dwelling Units/parcel

1

Height

6.0m

Parcel Coverage

45%

**Minimum Setback Requirements**

Front lot line

5.0m

One interior side lot line

2.0m

One interior side lot line

0.0m

Rear lot line

4.0m

Other lot line

5.0m

Provided that a separation distance of 2.0m between units is maintained and except where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.

Section 3.4.117

**RESIDENTIAL 13****R13****Permitted Use and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Home Occupation Use	n/a
b) Residential Use - Per dwelling Unit	200m <sup>2</sup>
c) Personal Care Unit (i) each unit	200m <sup>2</sup>
(ii) each unit where a housing agreement is into with the Town regarding the use of the property for personal care units	100m <sup>2</sup>

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Number and Size of Buildings and Structures****Height**

- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.5m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
-Flat roof	8.0m

**Minimum Setback Requirements**

All lot lines 8.0m

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.118

**RESIDENTIAL 15****R15****Permitted Uses****Permitted Use****Required Site Area**

- |                                                                                                                                                                                      |                   |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|
| a) Residential Use<br>- per unit                                                                                                                                                     | 250m <sup>2</sup> |
| b) Public Assembly – only on the ground floor (approximately level with College Road) of a building located within the footprint of the former ‘Qualicum College’ heritage building. |                   |

**Required Site Area**

The Required Site Area may be reduced by an amount equal to 25% of the Required Site Area multiplied by the percentage of on-site parking which is provided in an underground parking structure.

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcels (Residential Use)

Maximum Number of Dwelling Units

53

Height

- |                                                                                                                     |       |
|---------------------------------------------------------------------------------------------------------------------|-------|
| - ‘Qualicum College’ heritage building                                                                              | 15.0m |
| - All other buildings subject to any covenant registered on the land under section 219 of the <i>Land Title Act</i> | 11.2m |

Parcel coverage	42%
-----------------	-----

**Minimum Setback Requirements**

Subject to any covenant registered on the land under Section 219 of the *Land Title Act*

Front lot line	16.0m
Interior side lot lines	4.7m
Exterior side lot line	6.0m
Rear lot line	11.0m

Except:

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Sections 3.3 of General Regulations shall apply.
- b) that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.



Section 3.4.119

**RESIDENTIAL 16****R16****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Home Occupation Use	
b) Residential Use	
- single detached dwelling unit	700m <sup>2</sup>
- per townhouse unit	325m <sup>2</sup>
- per apartment unit	200m <sup>2</sup>

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	- combined floor area of 75m <sup>2</sup>	
Height		
- Principal building		
- Interior heated space		7.3m
- Ridge of gable, hip or gambrel sloped roof		9.0m
- Mansard roof		
- deck line		8.0m
- top of roof		9.0m
- Flat roof		8.0m
- Accessory building		4.5m
Parcel coverage		40%

**Minimum Setback Requirements**

Front lot line		
- Principal Building		
- Vehicle access from abutting front highway		8.0m
- No vehicle access from abutting front		5.5m
- Garage and Carport		8.0m
Rear lot line		
- Principal building		
-Part not more than 4.5m in height		3.0m
-Part more than 4.5m in height		6.0m
- Accessory building		
-Floor area more than 10 m <sup>2</sup> or over 3 m in height and		
- Rear lot line abuts lane		2.5m
- Rear lot does not abut lane		1.5m
-Floor area no more than 10 m <sup>2</sup> and over 3 m in height		0m
Exterior side lot line		4.5m
Interior side lot line		
-Principal building		1.5m
-Accessory buildings		
-Floor area more than 10 m <sup>2</sup> or over 3 m in height		1.5m
-Floor area no more than 10 m <sup>2</sup> and no more than 3m in height		0m
-Interior side lot line adjacent to a lane		3.0m

Section 3.4.119

**RESIDENTIAL 16**

**R16**

**Provided**

that the aggregate total of the minimum distances from each interior side lot line to the principal building shall not be less than 4.5m.

**Except:**

where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.

Section 3.4.120

**RESIDENTIAL 17****R17****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Home Occupation Use	n/a
b) Residential Use - per dwelling unit	160m <sup>2</sup>

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	- combined floor area of 75.0m <sup>2</sup>
Height	
- Principal building	
- Interior heated space	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.0m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m
- Accessory building	4.5m
Parcel coverage	60%

**Minimum Setback Requirements**

Front lot line	
- Principal Building	3.0m
Rear lot line	
- Principal building	2.5m
- Accessory building	
-Floor area more than 10 m <sup>2</sup> or over 3 m in height and	
- Rear lot line abuts lane	2.5m
- Rear lot does not abut lane	1.5m
-Floor area no more than 10 m <sup>2</sup> and over 3 m in height	0m
Exterior side lot line	3.0m
Interior side lot line	
-Principal building	1.5m
-Accessory buildings	
-Floor area more than 10 m <sup>2</sup> or over 3 m in height	1.5m
-Floor area no more than 10 m <sup>2</sup> and no more than 3m in height	0m
-Interior side lot line adjacent to a lane	3.0m

**Provided**

that the aggregate total of the minimum distances from each interior side lot line to the principal building shall not be less than 4.5m.

**Except:**

where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations apply.

Section 3.4.121

**RESIDENTIAL 18****R18****Permitted Uses and Minimum Site Area****Permitted Use****Required Site Area**

a) Home Occupation Use	n/a
b) Residential Use - per dwelling unit	185m <sup>2</sup>

**Density Bonus for Amenity**

For density bonuses, please refer to Section 6.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures****Height**

- Interior heated	7.3m
- Ridge of gable, hip or gambrel sloped roof	9.5m
- Mansard roof	
- deck line	8.0m
- top of roof	9.0m
- Flat roof	8.0m

Except for buildings and structures within 7.5m of the rear property line then the maximum height shall be as follows:

- Ridge of a gable or hip sloped roof	
- 10:12 pitch or steeper (which may include secondary roofs of dormers)	7.5m
- Less than 10:12 pitch	5.3m
- Mansard roof	
- Deck line	4.0m
- Top of roof	4.5m
- Gambrel roof	4.5m
- Flat roof	4.0m

Parcel Coverage	40%
Floor Area Ratio	0.68

**Minimum Setback Requirements**

Front lot line	2.0m
Rear lot line	2.0m
Exterior side lot line	2.0m
Interior side lot line	2.0m
Interior side lot line adjacent to a lane	2.0m

**Except:**

- where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.122

**RESIDENTIAL 19****R19****Permitted Uses and Minimum Site Area****Permitted Use**

- a) Home Occupation Use
- b) Residential Use
  - per dwelling unit

**Required Site Area**

n/a

250m<sup>2</sup>**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**Accessory buildings - combined floor area of 10m<sup>2</sup> per dwelling unit**Height**

- Interior heated space 7.3m
- Ridge of gable, hip or gambrel sloped roof 9.0m
- Mansard roof
  - deck line 8.0m
  - top of roof 9.0m
- Flat roof 8.0m

Parcel Coverage

50%

**Minimum Setback Requirements**

Front lot line 3.0m

Rear lot line 2.0m

Exterior side lot line 3.5m

Interior side lot line 1.5m

Interior side lot line adjacent to a lane 2.0m

Except:

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.
- c) that any roof overhang, eave, cornice or gutter may project up to a maximum of 0.6m into any required setback area.

Section 3.4.123

**RESIDENTIAL 20****R20****Permitted Uses and Minimum Site Area**

<b>Permitted Use</b>	<b>Required Site Area</b>
a) Home Occupation Use	n/a
b) Residential Use - per dwelling unit	124m <sup>2</sup>

**Density Bonus for Amenity**

For density bonuses, please refer to Section 3.3 (Table 17A): Density Bonuses.

**Maximum Number and Size of Buildings and Structures**

Accessory buildings	- combined floor area of 10m <sup>2</sup> per dwelling unit
Height	12.75m
Parcel Coverage	61%
Floor Area Ratio	2.3

**Minimum Setback Requirements**

Front lot line	2.7m
Rear lot line	2.0m
Exterior side lot line	3.5m
Interior side lot line	3.0m

Except:

- a) where any part of a parcel is adjacent to or contains a watercourse then the regulations in Section 3.3 of General Regulations shall apply.

Section 3.4.130

**UTILITY 1****U1****Permitted Uses**

- a) Radio communication Antenna Structure
- b) Radio communication Facilities

**Maximum Number and Size of Buildings and Structures**

Radio communication Antenna Structures

Maximum number 1

Maximum height

(notwithstanding the definition of "Height Buildings &amp; Structures") 48.0m (plus antenna array)

All other Buildings and Structures

Maximum height 6.0m

Parcel Coverage 60%

**Minimum Setback Requirements**

Front lot lines 8.0m

Other lot lines 2.0m

Except that any roof overhang, eave, cornice or gutter may project up to a maximum of 1.0m into any required setback area.

Section 3.4.131

**WATER 1****W1****Permitted Uses****Permitted Use**

- a) Boat Ramp
- b) Natural Site
- c) Residential Use
- d) Public Parking Lot
- e) Park

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel	1
Height	5.0m above natural boundary

**Minimum Setback Requirements**

Front lot line	8.0m
Other lot lines	3.0m



Section 3.4.132

**WATER 2****W2****Permitted Uses**

Permitted Use

- a) Natural Site
- b) Park

**Maximum Number and Size of Buildings and Structures**

Dwelling units/parcel

n/a

Height

0.9m

**Minimum Setback Requirements**

Lot lines

n/a

TOWN OF QUALICUM BEACH

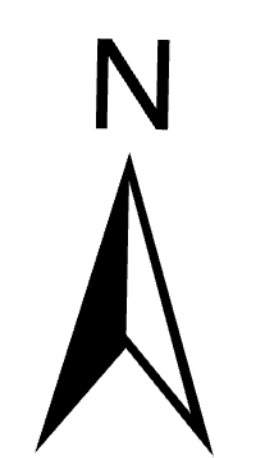
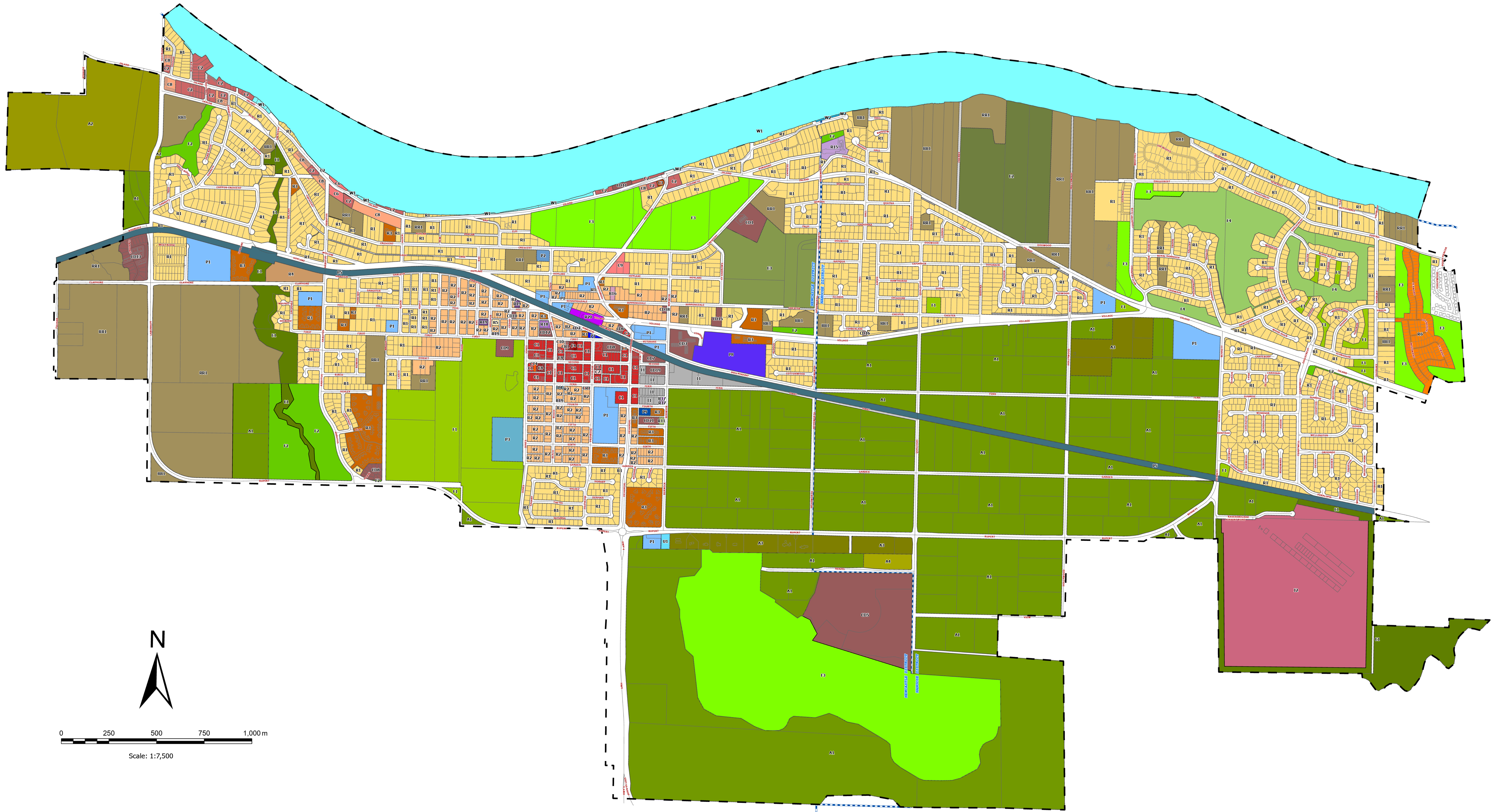
BYLAW NO. 900

SCHEDULE '3A':

ZONING MAP

ZONING MAP AS AMENDED BELOW IS AVAILABLE AT TOWN HALL





0 250 500 750 1,000 m  
Scale: 1:7,500

Mayor \_\_\_\_\_ Corporate Administrator \_\_\_\_\_

**TOWN OF QUALICUM BEACH  
ZONING BYLAW No. 900  
SCHEDULE 6A - ZONING MAP**

MAY 29, 2024

201 - 660 PRIMROSE ST  
PO BOX 130  
QUALICUM BEACH BC  
V9K 1S7



P: (250) 752-6921  
F: (250) 752-1243  
www.qualicumbeach.com

**TOWN OF QUALICUM BEACH**

<b>A1</b> Rural 1	<b>CR1</b> Commercial Residential 1	<b>CD15</b> Comprehensive Development 15	<b>P1</b> Institutional 1	<b>R6</b> Residential 6
<b>A2</b> Rural 2	<b>CD1</b> Comprehensive Development 1	<b>CD16</b> Comprehensive Development 16	<b>P2</b> Institutional 2	<b>R11</b> Residential 11
<b>A3</b> Rural 3	<b>CD2</b> Comprehensive Development 2	<b>CD18</b> Comprehensive Development 18	<b>P3</b> Institutional 3	<b>R15</b> Residential 15
<b>A4</b> Rural 4	<b>CD3</b> Comprehensive Development 3	<b>CD19</b> Comprehensive Development 19	<b>P4</b> Institutional 4	<b>R16</b> Residential 16
<b>C1</b> Commercial 1	<b>CD4</b> Comprehensive Development 4	<b>CD21</b> Comprehensive Development 21	<b>P5</b> Institutional 5	<b>R17</b> Residential 17
<b>C2</b> Commercial 2	<b>CD5</b> Comprehensive Development 5	<b>E1</b> Conservation 1	<b>P7</b> Institutional 7	<b>R18</b> Residential 18
<b>C3</b> Commercial 3	<b>CD6</b> Comprehensive Development 6	<b>E2</b> Conservation 2	<b>P8</b> Institutional 8	<b>R19</b> Residential 19
<b>C4</b> Commercial 4	<b>CD7</b> Comprehensive Development 7	<b>E3</b> Conservation 3	<b>P9</b> Institutional 9	<b>R20</b> Residential 20
<b>C6</b> Commercial 6	<b>CD8</b> Comprehensive Development 8	<b>F1</b> Recreation 1	<b>RR1</b> Rural Residential	<b>U1</b> Utility 1
<b>C7</b> Commercial 7	<b>CD9</b> Comprehensive Development 9	<b>F2</b> Recreation 2	<b>R1</b> Residential 1	<b>W1</b> Water 1
<b>C8</b> Commercial 8	<b>CD10</b> Comprehensive Development 10	<b>F3</b> Recreation 3	<b>R2</b> Residential 2	<b>W2</b> Water 2
<b>C9</b> Commercial 9	<b>CD11</b> Comprehensive Development 11	<b>F4</b> Recreation 4	<b>R3</b> Residential 3	
<b>C10</b> Commercial 10	<b>CD12</b> Comprehensive Development 12	<b>I1</b> Industrial 1	<b>R4</b> Residential 4	
<b>CT4</b> Commercial Tourist 4	<b>CD13</b> Comprehensive Development 13	<b>I2</b> Industrial 2	<b>R5</b> Residential 5	



TOWN OF QUALICUM BEACH  
BYLAW NO. 900  
**SCHEDULE '3B'**  
OFF-STREET PARKING & LOADING SPACES

## 1. General Requirements

### 1.1 Location

All off-street parking and loading areas shall be located:

- a) on the same parcel as the development, building or use they are intended to serve;
- b) subject to the setback requirements of the zone that applies to that parcel, except for parking required for bed & breakfast and home occupation use.

### 1.2 Disability Spaces

1. When any development, building or use requires or provides more than 20 off-street parking spaces, one parking space shall be provided for the use of persons with a physical disability, together with one additional disability space for each additional 50 off-street parking spaces required or provided.
2. Each disability space shall be:
  - a) a minimum of 4.0m in width;
  - b) marked with the International Symbol of Access as specified in Table 3 of this Schedule; and
  - c) located within convenient access of the development, building or use that it is intended to serve, and with minimum changes in level.

### 1.3 Surface

When any development, building or use requires or provides more than 4 off-street parking spaces, all parking spaces and loading spaces shall be provided and maintained with a hard durable surface that minimizes dust production.

### 1.4 Gradient

All parking and loading spaces shall have a maximum gradient and cross-slope of 6%.

## 2. Off-Street Parking Spaces

### 2.1 Stall and Aisle Dimensions

All off-street parking spaces shall be in accordance with Table 2 of this Schedule.

### 2.2 Reduction in Stall Length for Small Cars

Up to 20% of the total stalls provided on-site may be reduced to 4.6m in length provided those stalls are marked with the words "SMALL CAR" on the pavement or wall facing.

### 2.3 Access

Adequate provision shall be made for access by vehicles to all off-street parking spaces located in a parking area by means of unobstructed maneuvering aisles, the dimensions of which shall be in conformity with Table 2 of this Schedule.

## 2.4 Vertical Clearance

The minimum vertical clearance of parking stalls and aisles shall be 2.25m.

## 2.5 Calculation

1. The minimum number of off-street spaces shall be provided in accordance with Table 1 of this Schedule.
2. If a use is not listed in Table 1, the number of spaces shall be calculated based on a similar use that is listed.
3. If more than one use is located on a parcel or parking collectively serves more than one building or use, the total number of spaces shall be calculated on the sum of the various classes of uses, including the sum of all fractional parking spaces.
4. Where the calculation of total required spaces results in a fractional number, the nearest whole number shall be taken. A fractional number of .5 shall be rounded up to the next whole number.  
Notwithstanding the above, for the purpose of calculating any cash-in-lieu of providing parking, payment will be based on the actual number of parking stalls required, including any fraction thereof.
5. The required number of off-street parking spaces need not be provided where an addition or alteration to a building or a change in its uses would result in an increase of less than 10% of the number of spaces required up to a maximum of 5 spaces; where an addition, alteration or change in use requires more than 5 spaces the number of spaces determined by Table 1 shall be provided.

## 2.6 Parking Exemptions

Seasonal outdoor theatres, seasonal outdoor markets, seasonal outdoor seating for restaurants and coffee shops; and uses that operate only between the hours of 6pm and 6am or only on Sundays are not required to provide parking.

## 3. Loading Spaces

### 3.1 Dimensions

All off-street loading spaces shall be a minimum of 9.0m in length and 3.0m in width, and have a vertical clearance of 4.0m.

### 3.2 Access

Adequate provision shall be made for access by vehicles to all off-street loading spaces by means of 6.0m maneuvering aisle and shall be located so that each separate use within a development has access to a space.

### 3.3 Demarcation

All off-street loading spaces shall be clearly marked with the words "LOADING SPACE ONLY" on the pavement or wall facing.

### 3.4 Calculation

For commercial, industrial or public uses 1 off-street loading space shall be provided for every 2,000m<sup>2</sup> of floor area or portion thereof of all buildings located on a parcel, except where a use requires less than 4 parking spaces then no loading space shall be required.

TOWN OF QUALICUM BEACH  
 BYLAW NO. 900  
**SCHEDULE '3B'**  
 TABLE 1  
 REQUIRED NUMBER OF OFF STREET PARKING SPACES

**1. ALL ZONES OUTSIDE THE 'VILLAGE NEIGHBOURHOOD'**

In all zones except those located within the 'Village Neighbourhood', as shown in *Town of Qualicum Beach Official Community Plan Bylaw No. 800, 2018*, on Schedule 2.2 Land Use, the minimum number of off-street parking spaces shall be provided in accordance with the following table.

<b>Use</b>	
<b>Residential</b>	<b>Required Parking Spaces</b>
Bed and Breakfast	1 per guest sleeping room which may be located behind another parking space.
Home Occupation	No parking is required except as follows: 1 per non-resident employee 2 for sales of commodities 2 for a customer, client or patron service
Mobile Home Parks	(see Section '3C' of this Bylaw)
Residential Use	1 per dwelling unit
Lock-off Unit	1 (one)
<b>Commercial</b>	<b>Required Parking Spaces</b>
Animal Care	1 per 20.0m <sup>2</sup> of floor area
Bowling alley	3 per lane
Fairground	1 per 2 employees plus 1 per 100m <sup>2</sup> of site area
Fast Food Outlet	1 per 10.0m <sup>2</sup> of floor area
Financial Institution	1 per 20.0m <sup>2</sup> of floor area
Funeral Parlour	1 per 4 seats in Chapel
Gasoline Service Station	4 per service bay plus 1 per 15.0m <sup>2</sup> of floor area
Golf Course (9 holes)	75 spaces per 9 holes
Golf Driving Range	2 per tee
Health Club, Spa, Game Court, Gymnasium	1 per 10.0m <sup>2</sup> of fitness or gymnasium floor area
Heavy Equipment Display	1 per 70.0m <sup>2</sup> of floor area
Hotel, Motel or Resort Condominium	1 per unit, plus 1 per 3 seats in restaurant of licensed premises
Laundromat	1 per 3 washing machines
Laundry and Dry Cleaning Establishment	1 per 2 employees counted as a total of 2 shifts
Marina	1 per 2 mooring berths plus 1 per 2 employees
Neighbourhood Pub	1 per 3 seats
Nursery	1 per 15.0m <sup>2</sup> of sales building
Office	

- medical - single tenant - multi tenant	1 per 15.0m <sup>2</sup> of floor area 1 per 32.0m <sup>2</sup> of floor area 1 per 30.0m <sup>2</sup> of floor area
Ornamental Gardens	10 per hectare of ornamental gardens open to the public
Personal Service	1 per 50.0m <sup>2</sup> of floor area
Product Market or Stand	1 per 50.0m <sup>2</sup> of floor area plus 1 per 2 employees
Restaurant	1 per 10.0m <sup>2</sup> of floor area
Retail, Tourist or Convenience Store	1 per 15.0m <sup>2</sup> of floor area
Theatre, drive-in	1 per 2 employees
<b>Industrial</b>	<b>Required Parking Spaces</b>
Medium Industry	1 per 50.0m <sup>2</sup> of floor area
Taxi Stand	1 per taxi plus 1 per office employee
Transportation Terminal excluding Taxi Stand	1 per 10.0m <sup>2</sup> of waiting room
All other Industrial Uses	1 per 175.0m <sup>2</sup> used for storage 1 per 95.0m <sup>2</sup> of floor area used for display 1 per 15.0m <sup>2</sup> of floor area used for sales
<b>Public and Institutional Uses</b>	<b>Required Parking Spaces</b>
Church	1 per 4 seats
Church Hall, Lodge Hall, Private Clubs, Community Hall	1 per 20.0m <sup>2</sup> of floor area
College	10 per classroom
Day Care Facility	2 per facility plus 1 per employee
Hospital	1 per 2 employees plus 1 per 5 beds
Personal Care	1 per 3 beds
Police Office, Fire Station, Prison	1 per 2 employees counted as a total of 2 shifts
Recreational or Cultural Facility	1 per 50.0m <sup>2</sup> of floor area or 1 per 3 spectator seats or 1 per 5.0m <sup>2</sup> of floor area used for dancing or assembly or 1 per 4 persons capacity, whichever is the greater
Swimming Pool	1 per 5.0m <sup>2</sup> of pool water surface
Public Utility	1 per employee plus 3
School	- Elementary 2 per classroom - Secondary 5 per employee

## 2. VILLAGE NEIGHBOURHOOD ZONES

**2.1** For permitted uses in the 'Village neighbourhood' the minimum number of off-street parking spaces shall be provided in accordance with the following table. Non-residential parking spaces shall be publicly accessible and not reserved for an individual or business.

Use	Required Parking Spaces
Non-residential ground floor uses	1 per 40m <sup>2</sup> of floor area
Non-residential uses above ground floor	1 per 60m <sup>2</sup> of floor area
Residential Use	1 per dwelling unit
Accessory Hotel	1 per sleeping unit plus one space for a manager's residence
Lock-off Unit	1 per unit

### 2.1.1 Parking Adjustments

For permitted uses in the 'Village Neighbourhood' C1, C4 and C7 zones, the minimum number of off-street parking spaces may be reduced as follows:

Topic	Reduction	Maximum Reduction
Electric Vehicle Charging Stations	One (1) per parking stall equipped with an electric vehicle charging station (minimum 240 volt 20 amp), provided that there is at least one stall per residential unit onsite	2 spaces
Covered bicycle and scooter parking	One (1), provided that there is at least one stall per residential unit onsite and if a publicly accessible, covered area is provided with: <ul style="list-style-type: none"> <li>• a bike rack that accommodates a minimum of 10 bicycles; or</li> <li>• a bike rack that accommodates 6 bicycles and also space for two mobility scooters.</li> </ul>	1 space
Houseplex	Where four units are permitted, a maximum of three off-street parking spaces are required within the Village Neighbourhood.	1 space

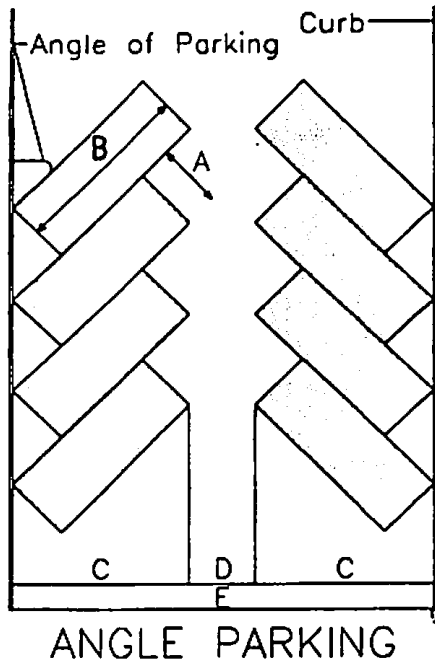
**2.2** For all other uses within the 'Village Neighbourhood' see parking requirement for the same use located outside the 'Village Neighbourhood'.



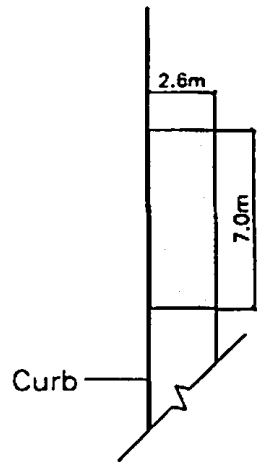
TOWN OF QUALICUM BEACH  
 BYLAW NO. 900  
**SCHEDULE '3B'**  
 TABLE 2

PARKING STALL AND AISLE DIMENSIONS

The minimum parking stall and aisle dimensions shall be in accordance with the following:



ANGLE PARKING



PARALLEL PARKING

Angle	Stall Width (A)	Stall Length To Curb (B)	Stall Depth (C)	Aisle Width (D)	Module (E)
10 degrees	2.5 m	5.2 m	2.5 m	3.7 m	8.7 m
	2.6	5.2	2.6	3.7	8.9
	2.7	5.2	2.7	3.7	9.1
	2.8	5.2	2.8	3.7	9.3
	2.9	5.2	2.9	3.7	9.5
3.0	5.2	3.0	3.7	9.7	
20 degrees	2.5 m	5.2 m	4.3 m	3.4 m	12.1 m
	2.6	5.2	4.4	3.3	12.3
	2.7	5.2	4.5	3.4	12.4
	2.8	5.2	4.6	3.4	12.6
	2.9	5.2	4.7	3.4	12.8
3.0	5.2	4.8	3.4	13.0	
30 degrees	2.5 m	5.2 m	5.1 m	3.4 m	13.5 m
	2.6	5.2	5.2	3.4	13.7
	2.7	5.2	5.2	3.4	13.9
	2.8	5.2	5.3	3.4	14.0
	2.9	5.2	5.4	3.4	14.2
3.0	5.2	5.5	3.4	14.4	
40 degrees	2.5 m	5.2 m	5.6 m	3.9 m	15.2 m
	2.6	5.2	5.7	3.7	15.1
	2.7	5.2	5.8	3.7	15.3
	2.8	5.2	5.9	3.7	15.4
	2.9	5.2	5.9	3.7	15.6
3.0	5.2	6.0	3.7	15.8	
45 degrees	2.5 m	5.2 m	5.9 m	4.3 m	16.0 m
	2.6	5.2	5.9	4.1	16.0
	2.7	5.2	6.0	3.9	15.9
	2.8	5.2	6.1	3.9	16.1
	2.9	5.2	6.2	3.9	16.2
3.0	5.2	6.2	3.9	16.3	
50 degrees	2.5 m	5.2 m	6.1 m	4.3 m	16.4 m
	2.6	5.2	6.1	3.8	16.0
	2.7	5.2	6.2	3.7	16.1
	2.8	5.2	6.2	3.7	16.2
	2.9	5.2	6.3	3.7	16.3
3.0	5.2	6.4	3.7	16.4	
60 degrees	2.5 m	5.2 m	6.3 m	5.8 m	18.3 m
	2.6	5.2	6.3	5.6	18.2
	2.7	5.2	6.4	5.5	18.2
	2.8	5.2	6.4	5.5	18.3
	2.9	5.2	6.5	5.5	18.4
3.0	5.2	6.5	5.5	18.5	
70 degrees	2.5 m	5.2 m	6.3 m	5.8 m	18.3 m
	2.6	5.2	6.3	5.6	18.2
	2.7	5.2	6.4	5.5	18.2
	2.8	5.2	6.4	5.5	18.3
	2.9	5.2	6.4	5.5	18.4
3.0	5.2	6.5	5.5	18.5	
80 degrees	2.5 m	5.2 m	6.1 m	7.6 m	19.9 m
	2.6	5.2	6.2	7.3	19.6
	2.7	5.2	6.2	7.3	19.7
	2.8	5.2	6.2	7.3	19.7
	2.9	5.2	6.2	7.3	19.7
3.0	5.2	6.2	7.3	19.8	
90 degrees	2.5 m	5.2 m	5.8 m	7.9 m	19.5 m
	2.6	5.2	5.8	7.6	19.2
	2.7	5.2	5.8	7.3	18.9
	2.8	5.2	5.8	7.3	18.9
	2.9	5.2	5.8	7.3	18.9
3.0	5.2	5.8	7.3	18.9	

## TOWN OF QUALICUM BEACH

## BYLAW NO. 900

**SCHEDULE '3B'**

## TABLE 3

## DISABILITY SPACE DESIGNATION

Minimum Size	
Wall facing or sign	- 0.3m min width and 0.3m min height
Pavement marking	- 1.0m min width



## TOWN OF QUALICUM BEACH

## BYLAW NO. 900

**SCHEDULE '3C'****RESIDENTIAL MOBILE HOME PARK REGULATIONS AND STANDARDS**

Mobile home parks shall be established or extended in accordance with the following regulations and standards:

**1. General Requirements**

1. No person shall establish, construct, alter or subdivide a mobile home park until written approval of detailed plans or specifications is received and a Mobile Home Park Permit is issued by the Town.
2. Nothing contained in this Schedule shall relieve any person from obtaining the necessary building permits and approvals for buildings and structures constructed, located or relocated in a mobile home park.
3. A copy of the Mobile Home Park Permit, a copy of this Schedule, and Part 6.4.114 of this Bylaw shall be permanently posted in the mobile home park office for the reference of mobile home park occupiers.

**2. Mobile Home Park Application, Fee, Approval and Permit****2.1 Application**

All applications for approval of plans and specifications shall be made in writing to the Town and shall include 2 full sets of working drawings to scale showing:

- a) the name and address of the applicant;
- b) the legal description of the land on which the proposed mobile home park is to be established, constructed, altered or extended;
- c) north arrow and notations of scales used;
- d) the parcel dimensions;
- e) the location and dimensions of the setback area;
- f) the number, location, dimensions and designation of all mobile home spaces;
- g) the location, dimensions and grade of all internal access roads and their relationship to existing highways;
- h) the location and dimensions of all recreation or common areas;
- i) the location and dimensions of the owner's or manager's dwelling unit and all other accessory buildings;

- j) the location and details of the source of potable water supply, treatment plants, distribution lines and outlets;
- k) the location and details of all connections to the sewer, sewer lines, septic tank and subsurface disposal fields;
- l) the location and details of all on-site refuse disposal areas;
- m) a landscaping plan for the mobile home park;
- n) all watercourses or water frontage within or adjacent to the mobile home park;
- o) all slopes greater than 10% within or adjacent to the land concerned; and
- p) any other information the Town may deem necessary.

## **2.2 Permit Application Fee**

Each application for a Mobile Home Park Permit shall be accompanied by an application fee of \$25.00 for the first mobile home space and \$10.00 for each additional mobile home space shown on the mobile home park plan.

## **2.3 Approval of Application and Permit**

1. No person shall establish, construct or alter a mobile home park without a Mobile Home Park Permit issued by the Town.
2. A Mobile Home Park Permit shall permit the establishment of a mobile home park on the land concerned only in compliance with the mobile home park plan as approved and for which a permit has been issued.
3. A Mobile Home Park Permit shall not be issued until the necessary permits and approvals have been granted by the other authorities also having jurisdiction.
4. Subsequent to examination of an application the Town shall notify the applicant in writing within 60 days that either a Mobile Home Park Permit is issued or that it is refused and the reasons therefore.
5. In the event that after the issuance of a Mobile Home Park Permit, the construction authorized thereunder is not commenced within 180 days from the date of issuance, then such permit shall be void, and the work shall not be commenced until a new permit has been issued and the fee paid.

## **3. Standards**

### **3.1 Mobile Home Spaces**

1. Every mobile home space shall:
  - a) have a minimum area of 370m<sup>2</sup>;
  - b) have a maximum of 6% longitudinal and 15% cross or crown gradient;
  - c) have 1 conveniently located parking space in the mobile home space area, and such parking space shall have a minimum width of 3.0m and a minimum length of 6.0m;
  - d) be properly drained;
  - e) be clearly numbered; and
  - f) have a clearly discernible mobile home pad.

2. No mobile home shall be located elsewhere in a mobile home park than on a mobile home space, and not more than 1 mobile home shall be located on a mobile home space.

### **3.2 Mobile Home Standards**

1. Every mobile home located on a mobile home space shall be supported by a double blocking system of blocking in which blocks of alternate courses are placed at 90 degrees.
2. In a mobile home:
  - a) the installation all wood stoves and chimneys;
  - b) the installation and maintenance of all oil burners and oil-burning equipment and appliances using inflammable liquids as fuel;
  - c) the storage and disposal of inflammable liquids and oils;
  - d) the installation, maintenance, carriage and use of compressed gas systems;
  - e) the plumbing and electrical installation; and
  - f) the connections to services;shall be in accordance with the regulations of the authority having jurisdiction.
3. Skirtings shall be installed within 60 days of installation of a mobile home on a mobile home pad.

### **3.3 Accessory Buildings and Structures**

1. One storage shed or utility building may be constructed on each mobile home space provided that the building has:
  - a) a maximum height of 2.5m;
  - b) a maximum floor area of 9.0m<sup>2</sup>
2. Common accessory buildings and structures shall be limited to buildings and structures generally intended for the common use of mobile home park occupiers and includes facilities for storage, laundry, service and recreation.

### **3.4 Siting**

No part of any mobile home or any addition shall be located within:

- a) 6.0m of another mobile home or addition thereto;
- b) 2.0m of an internal access road or common parking area;
- c) 1.5m of rear and side mobile home space lines;
- d) 6.5m of any common accessory building.

### **3.5 Access**

1. No mobile home park shall be established or extended unless the highway access to the mobile home park is approved by the authority having jurisdiction.
2. A second access from a highway separated by at least 60.0m from the first access shall be provided to each mobile home park containing 50 or more mobile home spaces.

3. Access to all parts of a mobile home park shall be by way of the internal access roads and no part of a mobile home park shall have direct access from a highway.

### 3.6 Layout

The minimum frontage of each mobile home space on the internal access road shall be 12.0m, except in the case of a mobile home space abutting a cul-de-sac the minimum frontage shall be 6.0m.

### 3.7 Internal Access Roads

1. All internal access roads within a mobile home park shall be:
  - a) of a hard durable surface so as not to produce dust;
  - b) well drained;
  - c) maintained;
  - d) adapted to the topography.
2. The maximum grade of all internal access roads shall be 7%.
3. The minimum internal access road width requirements shall be as follows:
  - a) access roads from a mobile home park to a highway shall have a minimum surfaced width of 6.5 m and a right of way width of 15.0m, and no parking shall be allowed on such internal access roads.
  - b) all other internal access roads:
    - i. with parking on both sides shall have a minimum surfaced width of 11.0m and a right of way of 14.0m;
    - ii. with parking on one side shall have a minimum surfaced width of 8.5m and a right of way of 12.0m;
    - iii. with no parking shall have a minimum surfaced width of 5.0m and a right of way of 12.0m.
4. Cul-de-sacs shall not exceed 100m in length.
5. Dead end internal access roads and cul-de-sacs shall have a turning circle right of way at the dead end with a radius of at least 12.0m.

### 3.8 Parking

For every 2 mobile home spaces, 1 additional parking space shall be provided, and shall:

- a) be located in the internal access road or in grouped parking areas of no larger than 20 parking spaces;
- b) have a minimum width of 3.0m and a minimum length of 6.0m;
- c) be provided and maintained with a hard durable surface that does not produce dust;
- d) be properly drained.

### 3.9 Buffer Area

1. To provide a buffer area, no mobile home space shall be located within the setback areas provided in Part 3.4 of this Bylaw.

2. Within a setback required pursuant to Part 3.4 of this Bylaw the following shall not be located:
  - a) recreational or service areas, except for waterfront recreation or amenity areas;
  - b) mobile home spaces or the owner's or manager's residence;
  - c) any building or structure, except a fence, a wall, or mobile home park identification sign not exceeding 1.5m<sup>2</sup> in area;
  - d) a sewage disposal system;
  - e) vehicle parking;
  - f) internal access roads, except those that directly connect the road system of the mobile home park to a highway.

### **3.10 Recreation Area**

1. Not less than 5% of the gross site area of the mobile home park shall be devoted to tenant's recreational uses, and shall be provided in a convenient and accessible location; and for the purpose of calculating recreational space requirements, any indoor recreational space provided shall be counted as double its actual floor area.
2. The recreational areas shall not include setback areas, parking areas, common accessory buildings, internal access roads and mobile home spaces.
3. In mobile home parks where more than 1,000m<sup>2</sup> of recreation space is required, 2 or more recreational areas may be provided.
4. Recreation areas in the mobile home park, except indoor recreation facilities, shall be of grass or asphaltic surface and shall be properly landscaped.

### **3.11 Refuse Disposal**

1. No person residing in a mobile home park shall dispose of refuse or any sort of waste except in accordance with arrangements made by the owner or manager of the mobile home park, and approved by the authority having jurisdiction.
2. The owner or manager of a mobile home park may establish 1 or more containers within the park for the collection of refuse. Such containers shall be durable, insect-tight, water-tight and rodent-proof.

### **3.12 Water System**

1. Pursuant to Part 3.4 of this Bylaw every mobile home park shall have a water supply system built to the standards of the Town, as specified in Part 4 of this Bylaw.
2. The water supply system shall furnish a constant supply of potable water that is under a minimum working pressure of 200 kPa and not over a maximum working pressure of 350 kPa at all outlets.
3. The water supply system shall distribute water to each:
  - a) accessory building, if required;
  - b) mobile home space by a distribution branch line with a minimum diameter of 18mm;
  - c) hydrant;
  - d) hose bib.

### **3.13 Sewage Disposal**

1. Pursuant to Part 3.4 of this Bylaw every mobile home park shall have a sanitary sewer system built to the standards of the Town, as specified in Part 4 of this Bylaw.
2. All Mobile Home Parks shall be connected to the Town's sanitary sewers.

### **3.14 Fire Hydrants**

Fire hydrants shall be installed and connected to the internal water supply of a mobile home park so that no mobile home space is beyond 120m from a fire hydrant, as measured along the internal access road.

### **3.15 Street Lighting**

Street lighting shall be installed and maintained to adequately illuminate the traveled portion of the internal access roads at the following locations:

- a) the intersection of internal access roads and a highway;
- b) all internal intersections;
- c) the turning circle of cul-de-sacs;
- d) any point at which an internal access road changes direction 30 degrees or more.



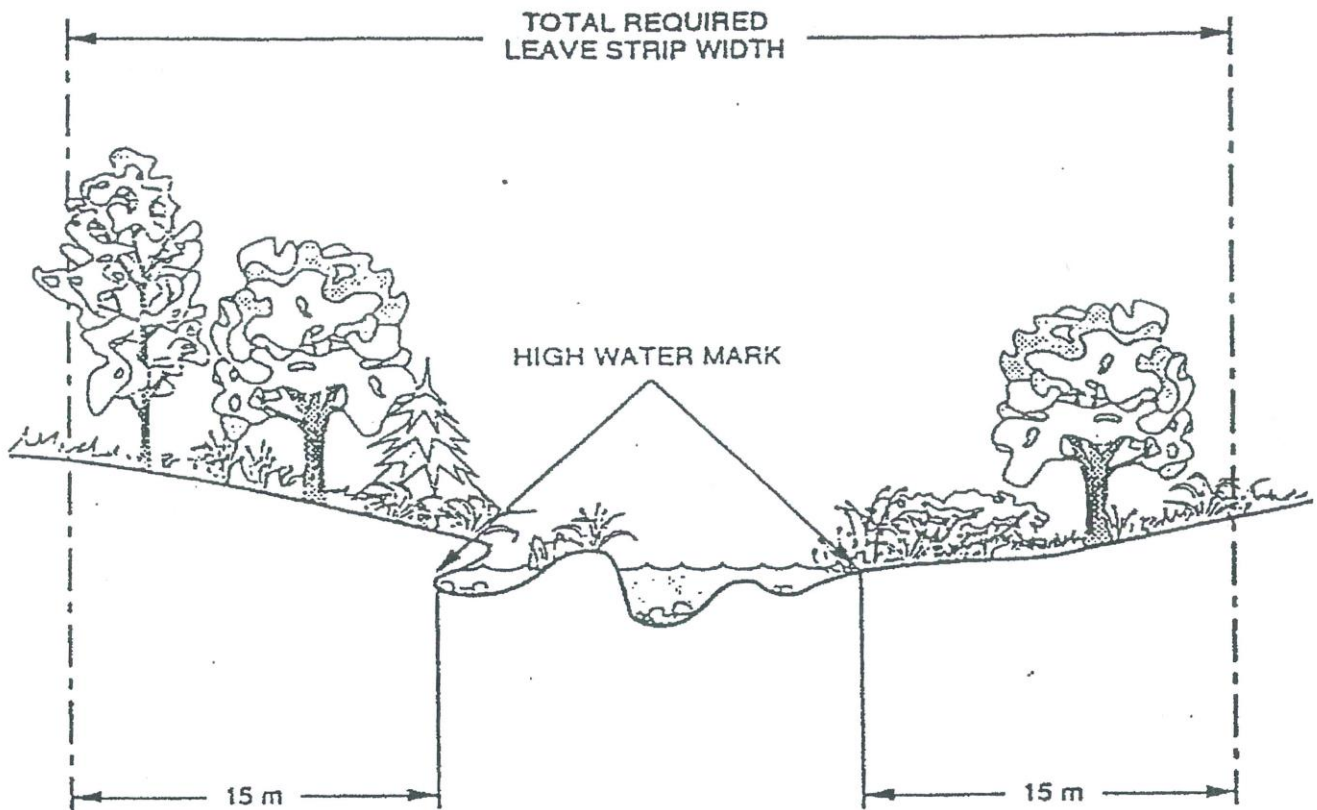
TOWN OF QUALICUM BEACH

BYLAW NO. 900

**SCHEDULE '3D'**

TABLE 1

SETBACKS FROM WATERCOURSES



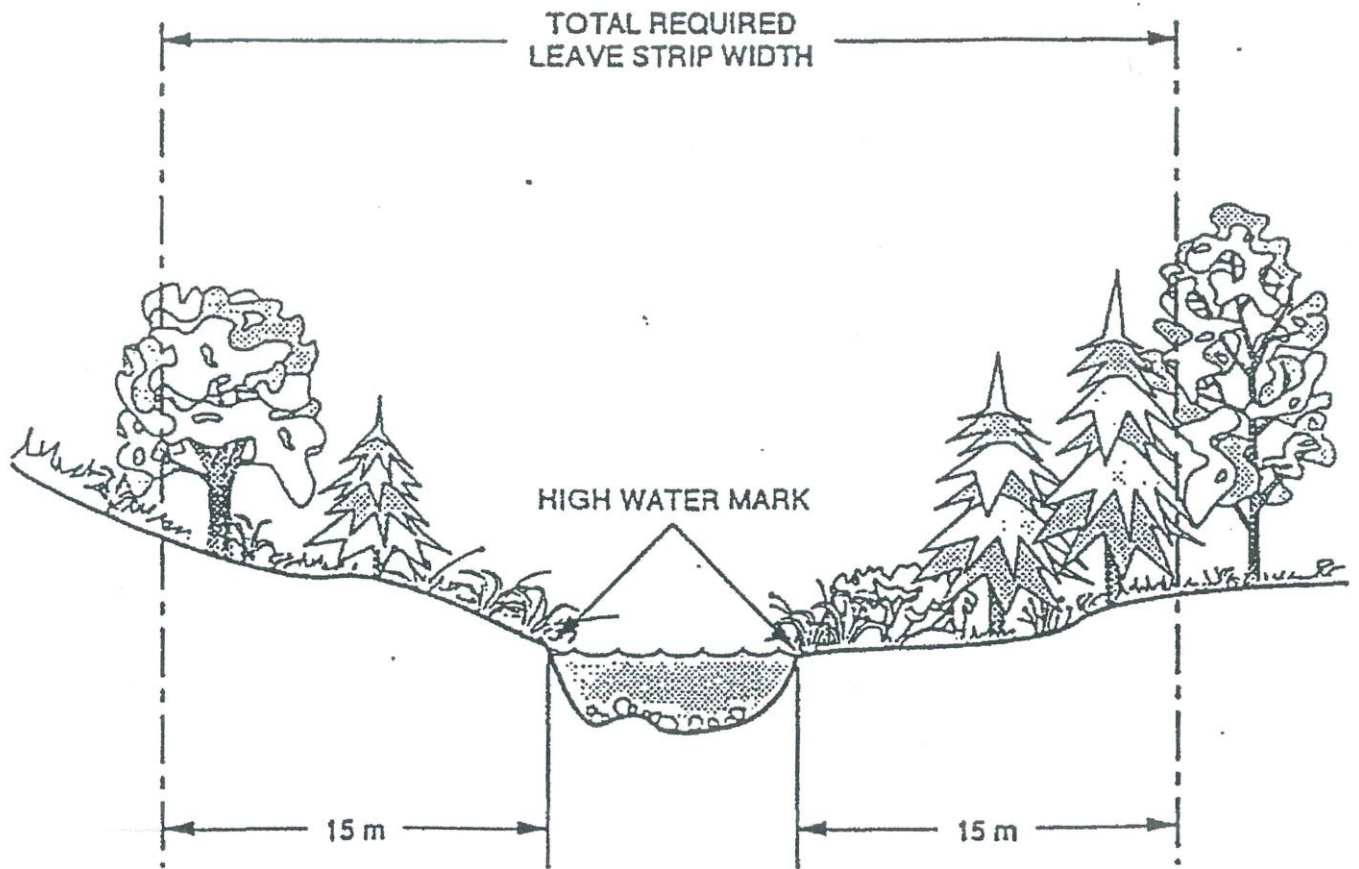
TOWN OF QUALICUM BEACH

BYLAW NO. 900

**SCHEDULE '3D'**

TABLE 2

SETBACKS FROM WATERCOURSES



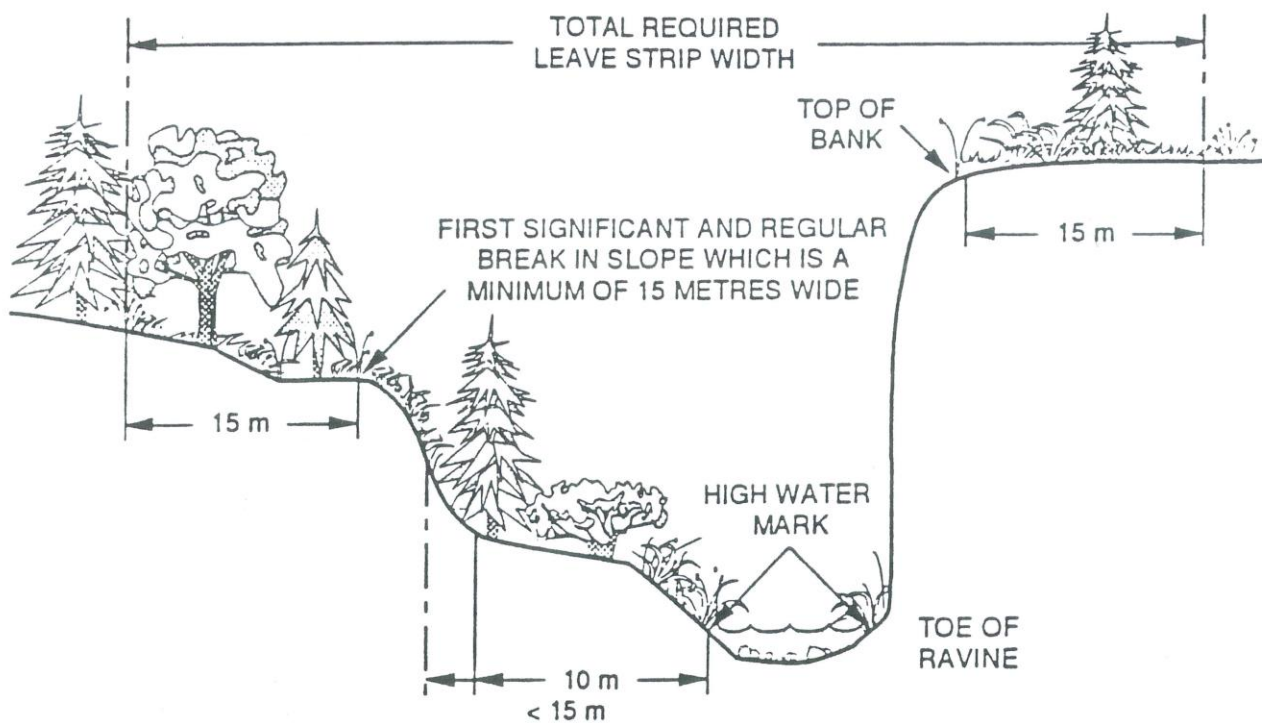
TOWN OF QUALICUM BEACH

BYLAW NO. 900

**SCHEDULE '3D'**

TABLE 3

SETBACKS FROM WATERCOURSES



TOWN OF QUALICUM BEACH

BYLAW NO. 900

**PART 4**

SUBDIVISION REGULATIONS

## **BYLAW NO. 900 – PART 4 – SUBDIVISION REGULATIONS**

### **4.1 Subdivision Districts**

1. For the purpose of this Bylaw, the Town is divided into subdivision districts as shown on Schedule '4A'.
2. Where a subdivision district boundary does not follow a legally defined line, and where the distances are not specifically indicated, the location of the boundary shall be determined by scaling from Schedule '4A'.
3. Where a subdivision district boundary is designated as following a highway or watercourse, the centre line of the highway or the centre line of the watercourse shall be the subdivision district boundary.
4. Any land not included in any subdivision district by Schedule '4A' shall be deemed to be in Subdivision District A.

### **4.2 Prohibition**

Land shall not be subdivided contrary to this Bylaw.

## **General Provisions**

### **4.3 Application for Subdivision and Application Fee**

Each application for subdivision shall include sufficient information for the Town to assess the proposed plan of subdivision, in accordance with the provisions of Schedule '4C', and be accompanied by an application fee in the amount set out in Schedule '4C'.

## **Subdivision Standards**

### **4.4 Parcel Size**

1. Minimum parcel size requirements for each subdivision district shall be in accordance with Schedule '4B'.
2. Any parcel created under a Bare Land Strata Plan pursuant to the *Strata Property Act* shall comply with the minimum parcel size requirements in Schedule '4B'.
3. A panhandle shall not be considered part of a parcel for the purpose of calculating parcel size in any subdivision district described in this Bylaw.
4. Panhandle lots are permitted only in the Residential 1 Zone; and
  - a) where the land to be subdivided is 2500m<sup>2</sup> or more;
  - b) the land to be subdivided is divided into a maximum of two lots; and
  - c) the owner enters into a covenant with the Town under Section 219 of the *Land Title Act* which prohibits any further subdivision of the land that creates a parcel having a highway frontage of less than 23m.
5. Panhandle lots are exempt from the statutory minimum highway frontage requirement provided for under Section 944(1)(a) of the *Local Government Act*.
6. a) Where land is located in Subdivision District 'A' and is not located within the Agricultural Land Reserve; and where upon the subdivision of such land, land within the subdivision is
  - i. dedicated as Park land;
  - ii. subject to a covenant, that is registered under Section 219 of the *Land Title Act* that limits further use or subdivision of the land in order to protect an environmentally sensitive area or reduce a threat to public health; or
  - iii. transferred to the Town for amenities

The minimum parcel size of 2.0 hectares may be reduced to a minimum parcel size of 1.0 hectares provided that the size of the parent parcel divided by the number of parcels in the subdivision, that are not included in the land described in the land described in i), ii), and iii), is a minimum of 2.0 hectares.

- b) Land subdivided under the provisions of subsection a) shall have a restrictive covenant in favour of the Town registered against all parcels in the subdivision prohibiting further subdivision of the land unless the largest parcel created within the subdivision is less than 4.0 hectares.
- c) Land described in subsection a) i), ii), iii) requires approval of the Town prior to approval of the subdivision.

#### 4.5 Parcels Exempt from Minimum Parcel Size Requirements

1. Where the requirements of the authority having jurisdiction are met with respect to the provisions of water and method of sewage disposal, minimum parcel size regulations shall not apply to a subdivision:
  - a) combining 2 or more parcels into a single parcel;
  - b) where the effect of subdivision would not be to increase the number of parcels, but to adjust the boundary between existing parcels, provided that the boundary change does not result in the reduction of either parcel by 20% or more of its original size unless the parcel being reduced by more than 20% still meets the minimum parcel size requirement after subdivision;
  - c) adding an accretion to a parcel.
2. Parcels which consist of 2 or more parts physically separated by:
  - a) a highway which was dedicated prior to the adoption of this Bylaw;
  - b) the Little Qualicum River;
  - c) a railway under jurisdiction of the applicable *Railway Act* and amendments thereto;

may be subdivided along the dividing highway, the natural boundaries of the noted river or the railway even when the newly created parcels fail to meet the minimum parcel size requirements of this Bylaw, provided the requirements of the authorities having jurisdiction are met with respect to the provision of water, method of sewage disposal and access.

### Design and Servicing Standards

#### 4.6 Parcel Shape

1. The parcel depth of land in a subdivision shall not exceed 40% of the length of the perimeter of the parcel, excluding any panhandle, unless the proposed subdivision will create parcels substantially closer to compliance with this provision than the existing parcel.
2. Notwithstanding Section 4.8.1 of this part, no parcel shall be created in a residential zone where the width of the parcel is less than 23.0m at a distance equivalent to the setback requirement from the front lot line, except where the parcels created by the subdivision are closer to compliance with this provision than the existing parcels.
3. Notwithstanding Section 4.6.2 of this part, the minimum width of parcels in Subdivision District 'J' is 12.0 m and Subdivision District 'K' is 10.0m.
4. Panhandles shall not be less than 8m in width.

5. Unless the pattern of existing subdivision precludes it, side lot lines shall, wherever practicable, be created perpendicular or radial to the adjoining highway.
6. No parcel shall be created which is divided into 2 or more non-contiguous portions by land not included within the parcel or remainder, except a remainder which is divided into non-contiguous portions by the width of a highway allowance, provided that:
  - a. such a highway was in existence prior to the subdivision; and it is impracticable to establish the non-contiguous portions as separate parcels.
7. Land located within the Institutional 5 Zone (P5) cannot be consolidated with a parcel of land located in any other zone.

#### **4.7 Highway Requirements**

1. No proposed highway to be dedicated by a plan of subdivision shall be shown on a plan, dedicated, laid out or constructed unless the design, dimensions, locations, alignment and gradient meet the requirements for highways, drainage and storm sewers as required under the "Town of Qualicum Beach Engineering Standards and Specifications, Bylaw No. 545, 1993" and amendments thereto.
2. Additional dedicated rights of way of up to 6.0 m may be required by the approving officer for bus stop areas near key intersections.
3. Additional dedicated rights of way of up to 3.0 m may be required by the approving officer for the provision of additional water or sanitary sewer mains necessitated by the proposed development.

#### **4.8 Sewage Disposal**

1. Any parcel to be created shall be served by a community sewer system where required by the approving officer.
2. Any community sewer system, or part thereof, provided within the subdivision, to service the subdivision or to connect the sewage collection system within the subdivision to a trunk sewage main of the Town shall, if constructed after the enactment of this Bylaw, be constructed and installed at the expense of the owner of the land being subdivided and shall be carried out in accordance with the "*Town of Qualicum Beach Engineering Standards and Specifications, Bylaw No. 545, 1993*".

#### **4.9 Water Supply**

1. Any parcel to be created shall be served by a community water system, where required by the approving officer.
2. Any community water system, or part thereof, provided within the subdivision, to service the subdivision or to connect the water distribution system within the subdivision to a Town trunk water main shall, if constructed after the enactment of this Bylaw, be constructed and installed at the expense of the owner of the land being subdivided and shall be carried out in accordance with the "*Town of Qualicum Beach Engineering Standards and Specifications, Bylaw No. 545, 1993*".

#### **4.10 Flood Construction Level**

1. No parcel shall be created that does not have viable building sites on natural ground that is above the Year 2100 Flood Construction Level.

#### **4.11 Exception**

Subdivision regulations to not apply to;

- a) parcels to be used solely for unattended public utility use;
- b) park.

provided a covenant restricting the parcel to that use is registered in favour of the Town.



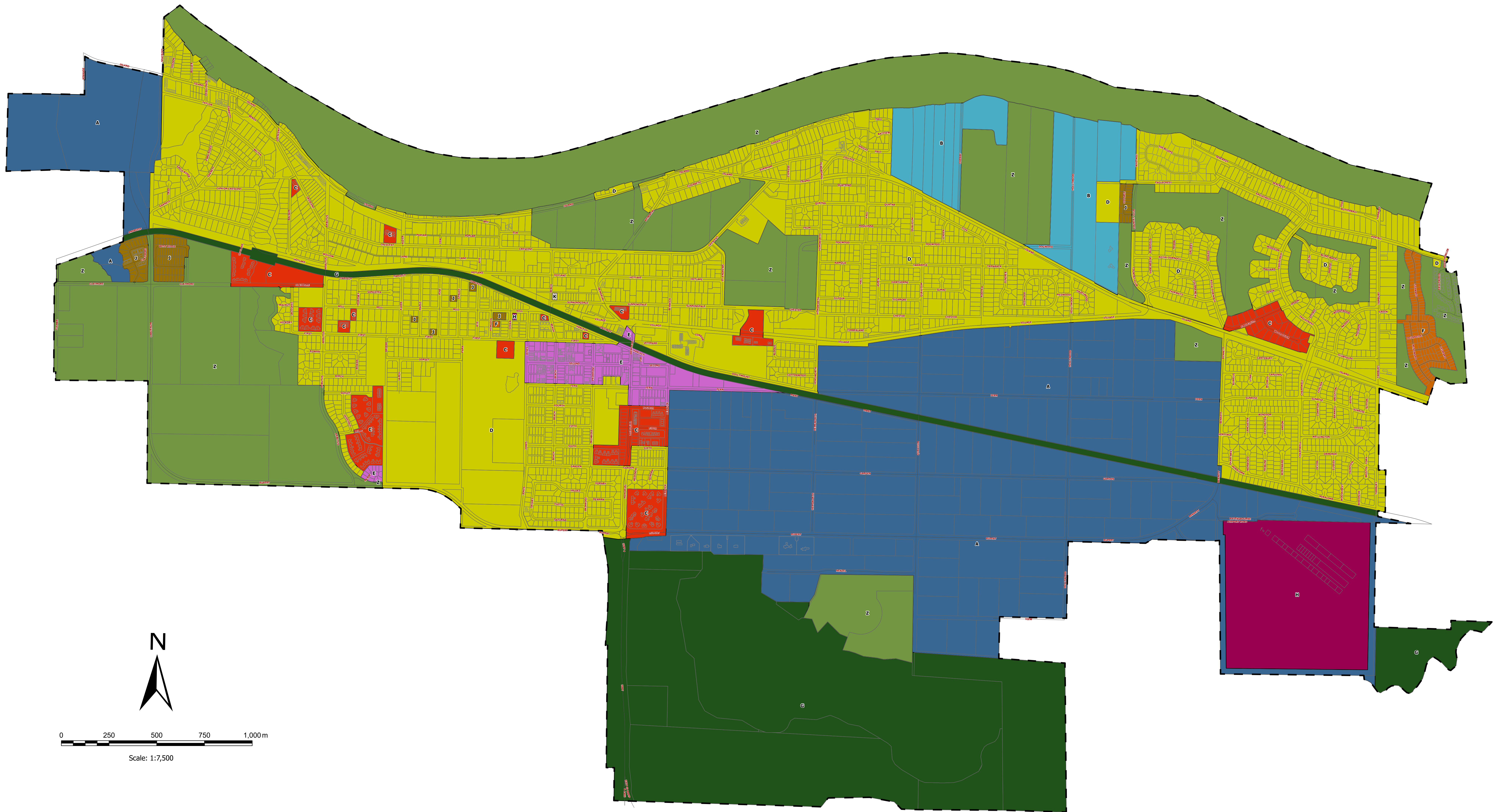
TOWN OF QUALICUM BEACH

BYLAW NO. 900

**SCHEDULE '4A'**

SUBDIVISION DISTRICT MAP





0 250 500 750 1,000m  
Scale: 1:7,500

Mayor

Corporate Administrator

**TOWN OF QUALICUM BEACH  
ZONING BYLAW No. 900  
SCHEDULE 7A - SUBDIVISION DISTRICT MAP**

MAY 29, 2024

201 - 660 PRIMROSE ST  
PO BOX 130  
QUALICUM BEACH BC  
V9K 1S7



P: (250) 752-6921  
F: (250) 752-1243  
www.qualicumbeach.com

**TOWN OF QUALICUM BEACH**

Subdivision District	Minimum Parcel Size With Community Water and Sewer
A	2.0 ha
B	1.0 ha
C	4000 m <sup>2</sup>
D	700 m <sup>2</sup>
E	465 m <sup>2</sup>
F	400 m <sup>2</sup>
G	50.0 ha
H	200 m <sup>2</sup>
J	500 m <sup>2</sup>
K	400 m <sup>2</sup>
Z	20.0 ha



TOWN OF QUALICUM BEACH

BYLAW NO. 900

**SCHEDULE '4B'**

SUBDIVISION DISTRICTS

## 1.1 Minimum Parcel Size

Subdivision District	Level of Community Services Required		
	Community Water & Sewer System	Community Water System	No Community Services
A	2.0ha	2.0ha	2.0ha
B	1.0ha	8.0ha	8.0ha
C	4000m <sup>2</sup>	2.0ha	2.0ha
D	700m <sup>2</sup>	8.0ha	8.0ha
E	465m <sup>2</sup>	2.0ha	2.0ha
F	400m <sup>2</sup>	2.0ha	2.0ha
G	50.0ha	50.0ha	50.0ha
H	200m <sup>2</sup>	200m <sup>2</sup>	200m <sup>2</sup>
J	465m <sup>2</sup>	20.0ha	20.0ha
K	400m <sup>2</sup>	20.0ha	20.0ha
Z	20.0ha	20.0ha	20.0ha

- 1.2 Where a subdivision district boundary does not follow a legally defined line, and where the distances are not specifically indicated, the location of the boundary shall be determined by scaling from Schedule '4A'.
- 1.3 Where a subdivision district boundary is designated as following a highway or watercourse, the centre-line of the highway or the natural boundary of the watercourse or centre-line of a creek shall be the subdivision district boundary.
- 1.4 Any land not included in any subdivision district by Schedule '4A' shall be deemed to be in Subdivision District 'A'.

TOWN OF QUALICUM BEACH

BYLAW NO. 900

**SCHEDULE '4C'**

**APPLICATION FOR SUBDIVISION AND APPLICATION FEE**

**1. Application for Subdivision**

Application for subdivision shall be accompanied by the following information:

- a) the scale of each plan and the direction of north thereon;
- b) the arrangement and dimensions of all parcels, highways, easements and rights of way to be created;
- c) all watercourses contained in or adjacent to the subject parcel;
- d) all existing buildings, structures, easements and rights of way on or adjacent to the subject parcel;
- e) contour information as deemed necessary by the authorities having jurisdiction;
- f) the intended use of the land being subdivided.

**2. Subdivision Application Fee**

Fees to accompany subdivision application:

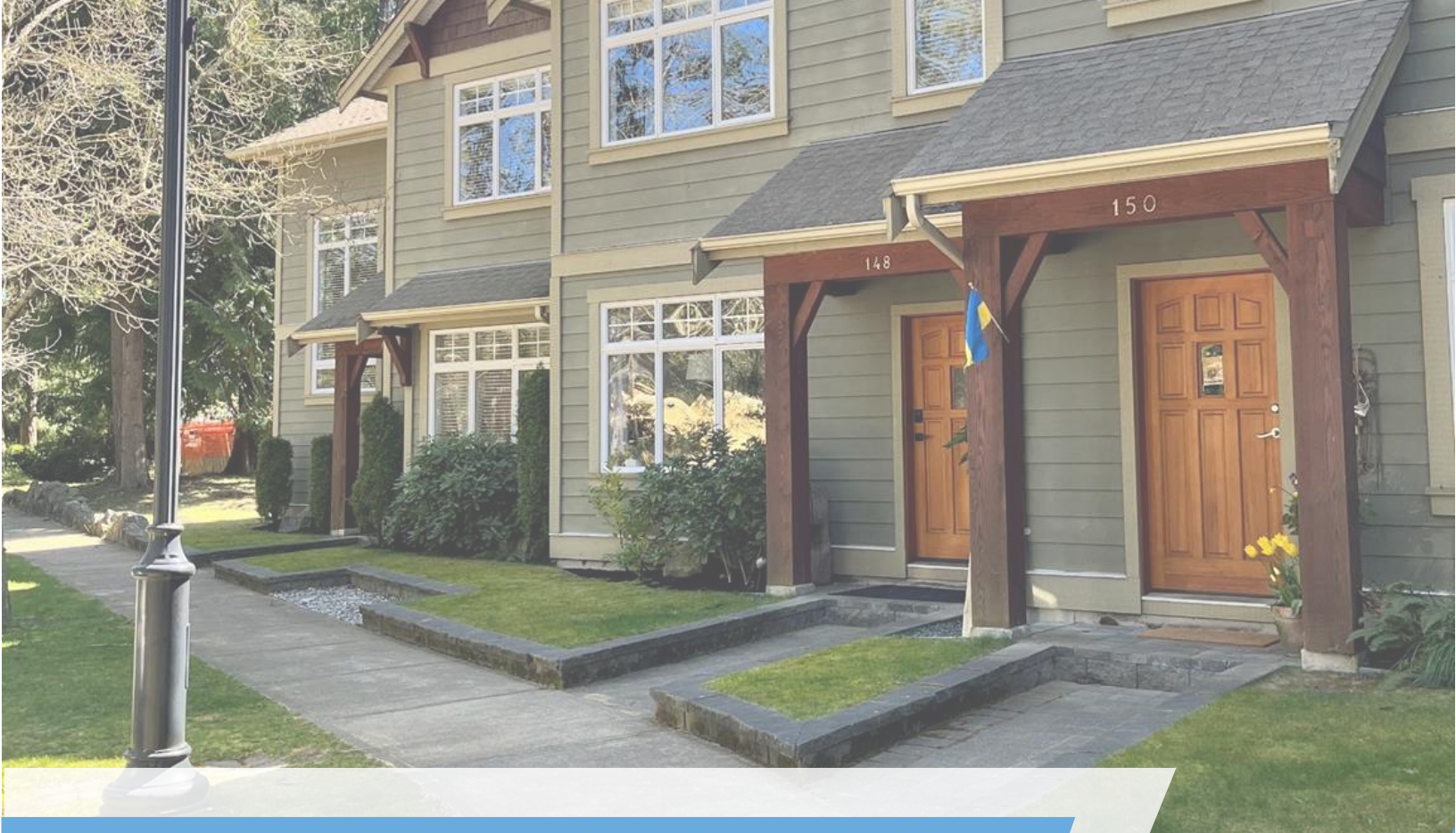
1. Every application for final approval of a proposed plan of subdivision shall be accompanied by an application fee as specified in the "Town of Qualicum Beach Engineering Standards and Specifications Bylaw No. 545, 1993" and amendments thereto.
2. In no event shall the Town refund subdivision application fees.

TOWN OF QUALICUM BEACH

BYLAW NO. 900

**PART 5**

INTERIM RESIDENTIAL DESIGN GUIDELINES



TOWN OF QUALICUM BEACH

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# Interim Design Guidelines

Small-Scale Multi-Unit  
Housing





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# Introduction

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*Owners, designers, and developers are encouraged to use creative design freedom within the limits of retaining the Town's Character.*

In December 2023, the Province of British Columbia introduced a series of housing initiatives that require local governments to allow higher density on properties to increase the number of units available for people to live in (*Homes for People*, Province of BC, 2023).

This document provides guidelines for low to medium density housing in a variety of types, with an emphasis on compatibility with existing neighbourhood character, and providing opportunities for onsite landscaping and outdoor living.

Most neighborhoods in Qualicum Beach outside of the Village Neighbourhood have a predominantly suburban character, with residents depending on private vehicles for their daily commutes. Therefore, both the design guidelines and the related zoning regulations include measures to guarantee the continuity of vehicle access. However, guidelines aim to prioritize pedestrian-friendly environments, ensuring that residential areas are pleasant, interesting and conducive to active transportation. As such, the guidelines emphasize walkability, quality of life and human comfort.



## Purpose of the Guidelines

This document provides guidelines for low to medium density housing in a variety of types.

- **Prioritizes** pedestrian-friendly environments.
- **Emphasizes** walkability, quality of life, and human comfort.
- **Considers** compatibility of with existing neighbourhood character.
- **Creates** opportunities for onsite landscaping and outdoor living.
- **Guarantees** continuity of vehicle access.

## Who Should Use the Guidelines?

- Property Owners & Merchants
- Designers & Developers
- Town of Qualicum Beach

# Design Guidelines

## Neighbourhood Context

### Site Integration and Architectural Harmony

Restoration should respect the integrity and intent of the original design.

- Development should use landscaping, porches, windows that are oriented toward the street. These elements will contribute to creating a sense that the development is acting as a “good neighbour” by honouring the existing character of the neighbourhood in the design.
- Ensure developments do not overshadow or overlook adjacent properties, implementing strategies like increased setbacks and staggered windows.
- Utilize landscaping, porches, and street-facing windows, to contribute to the neighbourhood's character and convey a sense of community.
- A higher degree of discontinuity with neighbouring buildings may be acceptable in the Village Neighbourhood, anticipating a transition to more intensive land use.
- Avoid designs that create isolation, such as imposing fences, gates, or large unbroken facades.
- Units located in the interior of lots should be designed with adequate separation from other buildings to ensure access to open space.



### Preservation of Natural Features

- For properties that include significant natural features (e.g. significant trees, topography, rocky outcrops), buildings and landscape should be sited and designed to respond to natural topography and protect significant natural features wherever possible.
- Strategies to achieve this include, but are not limited to, alternative siting or clustering of buildings to avoid disturbance of natural features, and clustering of parking to reduce pavement on the site.

# Site & Landscaping

## Parking

### Parking Locations and Access

- Parking should be screened from the street where possible to maintain aesthetic appeal.
- Consider incorporating glazing in garage doors.
- If the lot is adjacent to a lane, all parking shall be on and/or accessed from the lane.
- Minimize extent of driveways and eliminate need for driveway access to individual units.
- Locate and consolidate off-street parking areas, primarily to the rear of the primary structure.
- Screen recreational vehicle parking to preserve the visual and physical space of the residential area.

### Innovative Parking Solutions

Encourage diverse parking strategies to maximize efficiency and aesthetics, including:

- Boulevard parking to integrate parking within the streetscape.
- Laneway parking to leverage rear access points.
- Layby parking for temporary stops close to destinations.
- Nose-in parking from a laneway to maximize space utilization.

### Environmental and Community Considerations

- Use permeable materials or other strategies for driveways and parking areas that assist with stormwater management, reducing runoff and promoting groundwater recharge.
- The design and placement of buildings and landscape should establish a sensitive transition to adjacent parks, trails, open spaces, and natural areas, considering a landscaped edge.
- Respect the root zones of adjacent trees; and minimize impacts on ecologically sensitive areas and natural features.





# Site Access

*Ensuring proper site access is essential to create housing developments that seamlessly integrate with their surroundings.*

## Frontage Allocation and Pavement Minimization

- Driveways and access points should not exceed 7.0 meters in width at any point (approximately 23 feet).
- Limit the extent of paved areas in front yards to encourage green spaces.

## Driveway Design and Placement

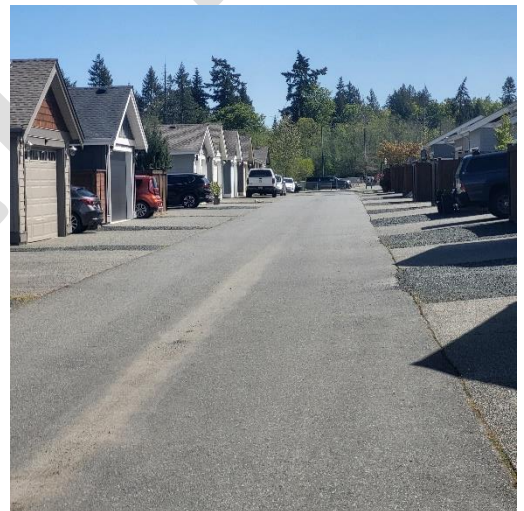
Encourage diverse parking strategies to maximize efficiency and aesthetics, including:

- Favor the design of flared driveways that are narrower at the street entrance and wider near the garage/main access.
- Position driveways on corner lots as far from the intersection as feasible, with a minimum distance of 8 meters.
- Access from the laneway only for properties adjacent to a laneway right-of-way.



## Shared Spaces and Traffic Flow

- Encourage the sharing of driveway access between adjacent units.
- Carefully plan the site layout to ensure efficient traffic flow and minimize potential conflicts.



## Pedestrian Accessibility

- Implement direct and clearly defined pedestrian pathways from parking areas to buildings.
- Design a primary pedestrian entrance from the street, incorporating landscaping features and layby parking options.

# Landscape

Green space and landscaping are important features that can enhance neighbourhood character, beauty, livability, and environmental sustainability.

## Design and Aesthetic Guidelines

- Incorporate a distinct landscaping element at the front property line, such as a gate, pillars, stonework, or similar features, to aesthetically mark the transition from public to private space.
- Ensure that landscaping complements the predominant landscape character of the neighborhood.
- Design front yards (and side yards on corner lots) and visible elevations from the street to create a cohesive streetscape.

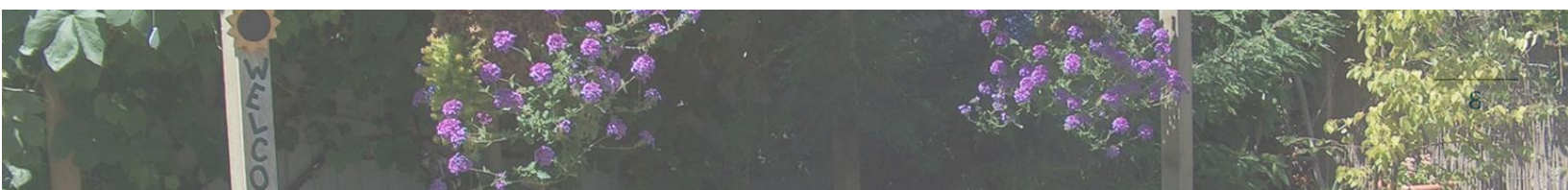
## Environmental and Community Considerations

- Encourage the preservation of existing, on-site trees where possible and practical.
- Incorporate native and water-smart plants that provide shade and support local ecology and habitat.
- Encourage garden areas as part of outdoor amenity spaces to foster a sense of community.
- Incorporate fire-resistant landscaping near structures, using materials like rocks, gravel, and fire-resistant plants to create a defensible space that reduces fire risk.



## Functional and Practical Elements

- Provide sheltered walkways and walkway lighting to enhance safety and accessibility.
- Each residential unit must include an allocated outdoor space tailored to the unit's size and capacity, ensuring private access to outdoor areas for residents.
- Outdoor storage should be practical, visually harmonious, and match the home's character. Position storage in less visible areas, such as the side or back of the property, screened by landscaping or fencing.
- Designate specific areas for the storage of garbage, recycling, and compost bins that are easily accessible for residents and waste collection services, yet inconspicuous from public view and neighboring properties.





# Machinery, Equipment and Systems

*Installation of machinery should be considered in relation to the residents' (on property and within the neighbourhood) well-being and environmental stewardship.*



## Promote Sustainable Energy Solutions

- **Electric Car Charging:** Include a location for at least one electric car charge outlet onsite.
- **Heat Pumps and Ground-Source Pumps:** Encourage the use of heat pumps and ground-field loops for ground-source heat pumps.
- **Solar Collectors:** The implementation of solar thermal collectors is recommended to harness solar energy for heating water. Solar photovoltaics are encouraged to generate electricity.

## Sound Management for Heating/Cooling Units

- The installation of outdoor heating and cooling units should prioritize sound management to minimize noise pollution, which can be a nuisance to neighbours.
- **Location:** Place units as far away from property lines as possible to reduce noise impact. Where possible, locate these units in the front or rear yard rather than the side yard to further distance them from neighboring properties.
- **Avoid Windows and Openings:** Position units away from neighboring windows or openings where possible.
- **Utilize Barriers:** Whenever possible, keep the unit behind any existing barriers such as fences, hedges, and garden sheds. Consider installing anti-noise boxes around heat pumps.



# Streetscape

*A well-designed streetscape ensures that new developments blend seamlessly with the existing neighbourhood. Harmonious architecture, landscaping, and street elements create a sense of continuity and community. They will enhance the visual appeal and identity of a neighbourhood, provide safety to residents, and promote livability and accessibility for residents.*

## Guidelines

- Boulevards should include at least one street tree for every 10 metres of frontage.
- Within 2.5 metres of the traveled road surface, landscaping may include:
  - Gravel or permeable pavers for parking
- At each intersection, a landscaped node may extend within .5 metres of the travelled road surface.
- More than 2.5 metres from the travelled road surface, landscaping may include:
  - lawn, flowers, ground covers, low shrubs: less than 0.6 metres in mature height
  - access steps that are part of a sidewalk
  - a low berm: less than 0.6 metres from adjacent ground
- More than 3.5 metres from the travelled road surface:
  - mailbox and address pillars up to 1.5 metres in height and 0.6 metres in width
  - a hedge or shrub: measured to the trunk of the hedge or shrub, as long as foliage doesn't grow closer than 2 metres
  - rocks or similar landscape features under 0.6 metres
- Street trees should be located .5 metres outside the front property line.
- Ensure the design of the building will fit into the existing characteristics of the neighbourhood.
- Ensure that the site design accommodates people of all abilities.
- Incorporate accessible pathways, ramps, and elevators.
- Provide visible signage identifying building addresses at all entrances.





# Building Form & Elements

## Height

When located adjacent to single detached homes, small scale, multi-family dwellings should take care to be a good neighbour to existing single-family homes. New multi-family dwellings may have a higher allowable height than previously built single-family dwellings but should respect the existing context.

### Guidelines

- Care should be taken to ensure that massing, shadowing and privacy of adjacent homes are taken into account during the design process.
- When constructing new multi-residential dwellings, the maximum allowable height is three storeys, ideally with the 3<sup>rd</sup> storey integrated into the roofline of the house or set back from façade of the second storey.
- Increase building massing toward the center of the site to optimize light, privacy, and to facilitate community integration.
- Optimize building massing to reflect the BC Energy Step Code and Zero Carbon Step Code.

### Doors

- Entrances should be located and designed to create building identity, to distinguish between individual units, and generally create visual interest for pedestrians. Well-considered use of architectural detail and, where appropriate, landscape treatment, should be used to emphasize primary entrances, and to provide “punctuation” in the overall street-scape treatment
- Independent entrances to create a sense of individuality for each unit.
- At least one prominent front entrance should face the street.



## Scale and Massing

Architectural massing is the volumetric design of a building and the three-dimensional space a building occupies. Massing and articulation can increase the visual interest of a development and should tie into the overall neighbourhood form and character.

## Design and Proportionality

- Complement the massing and building proportion of established housing in new developments to promote continuity and harmony with the existing urban fabric.
- When similar massing to neighbouring structures is not achievable, break the building facade into smaller elements to create an illusion of a smaller scale, maintaining neighborhood character.
- Step down building heights as a strategy for sensitive transitions in scale to adjacent buildings, enhancing the integration of new developments.

## Façade

- Encourage the integration of a one-story roofline on the front façade to transition to the pedestrian scale.
- Utilize articulation in horizontal and vertical planes on street frontage facades to add depth and interest.
- Incorporate architectural features and design details into building facades that are rich and varied in detail to create visual interest when approached by pedestrians. Examples of architectural features include: building height, massing, articulation and modulation, bay windows and balconies, fenestration pattern (proportions and placement of windows and entry ways).
- Incorporate recessed, articulated, and differentiated entrances where possible, adding to the visual and functional quality of the building.

## Roof Design

- Utilize roof slopes to minimize the apparent mass of the development and reduce differences in heights between adjacent buildings.
- Create usable space through the addition of dormers and gables, contributing to the functionality and aesthetic of rooftops.
- Integrate weather protection canopies at building entrances to enhance the pedestrian experience.

## Environmental & Human Scale

- Facilitate visual access to natural features such as the sky, daylight, vegetation, and views, enriching the living environment for residents.
- Ensuring that building components relate to human scale, including the dimensions of doors, windows, and stairs.

## Massing

- Employ transitional elements and terraced units to reduce perceived bulk and introduce variety in building massing.
- Ensure larger, more prominent features are balanced with smaller, less significant ones to create a sense of order and scale.
- Align massing strategically at a neighbourhood scale, placing big walls next to big walls, to maintain a coherent and harmonious architectural rhythm.



# Colours & Materials

Colours play a crucial role in establishing a building's visual identity. Thoughtful colour and material choices contribute not only to aesthetics but also to functionality, sustainability, and community integration. Lack of architectural detail or variety in material and colour can create a building with an awkward and dense appearance. Consideration should be given to the existing neighbourhood.

## Guidelines

- Colour schemes can be used to differentiate residential units.
- Employ two or more types of cladding materials to avoid large expanses of uniformity.
- Incorporate secondary material into vertical design features or use accent colours (to break up mass of building).
- Use different textures (brick patterns, wood, stone) to add visual richness.
- Durable Materials: Prioritize substantial, durable and natural materials into their facade to avoid a 'thin veneer' look and encourage graceful weathering of materials over time.
- Wood Accents: Wood siding or accents can add warmth and texture. Use responsibly sourced materials.
- Employ fire-resistant materials for exterior cladding, such as non-combustible siding materials (e.g., fibre cement, stone, stucco, or metal siding). These materials help prevent the spread of fire to and from neighboring properties.



## Colour Palette:

- Neutral Base: Start with a neutral base colour for the building's facade. Whites, grays, or earth tones work well.
- Accent Colours: Introduce accent colours for doors, window frames, and trim. These can add visual interest without overwhelming the design.
- Avoid Clashing: Ensure that colours complement each other and do not clash.
- Choose colours with energy efficiency in mind: dark colours absorb more heat, light reflects sunlight.







## Roofs

Roofs should be compatible with the existing neighbourhood character and should create visual interest. Integrating pitched roofs into the overall design provides “single-family residential character”.

### Guidelines

- Pitched roofs in excess of 6:12 are encouraged to evoke a residential feel and blend with neighbouring houses.
- Utilize flat roofs for rooftop gardens, solar panels, or communal spaces.
- Green “vegetated” roof options are preferred where a flat roof is proposed.
- Cascade of sheltering roofs.
- Asphalt shingles, metal, slate, or clay tiles are recommended to offer the highest level of fire resistance.

## Windows

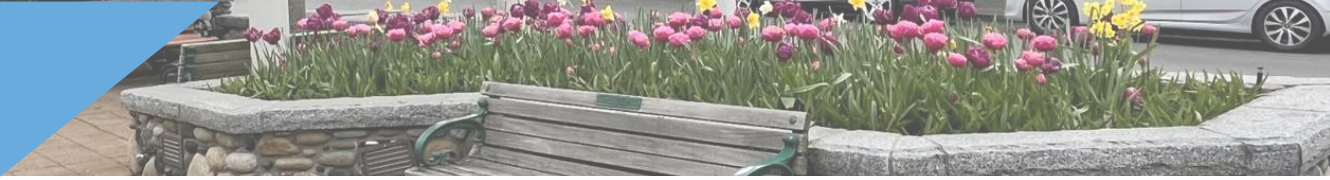
Windows can shape living spaces, impact energy use, and contribute to the overall character of a neighbourhood.

### Guidelines

- Contrast: Window frames and trim can contrast with the facade colour. Dark frames against light walls create visual impact.
- Material Consistency: Use the same material for window trim as other architectural elements (e.g., wood, metal, or fiber-cement).

- Windows should be placed on at least two sides of each residential unit.
- Windows should open.
- Views to the street should be provided where possible.
- The views from upper stories of new buildings should minimize overlook into adjacent private yards, especially in less intensive areas. Strategies to achieve this include but are not limited to the following:
  - Increased setback.
  - Stagger windows to not align with adjacent windows.
  - Primary windows into habitable spaces, and also decks and balconies, should not face or be oriented to interior side-yards.
  - Locate and screen upper level windows, decks, and balconies to minimize overlook.
  - Use of skylights, translucent windows and clerestory windows are encouraged to minimize overlook of side yards.
  - Landscape screening.





## Proportions

Proportion in building design is crucial to support a feeling of aesthetic harmony, functionality and efficiency, structural integrity, and relationship to the human experience.

## Guidelines

- Buildings should consider the human experience; massing of the building should relate well to the surrounding context and should not overpower neighbouring structures.
- Balance of vertical and horizontal elements. Avoid excessively tall or squat buildings that disrupt the visual harmony of the area.

## Green Building Considerations

Green building practices encourage sustainability in both material and design to support climate action initiatives. Green buildings are structures that reduce impact on the environment by being resource efficient and environmentally responsible. These buildings play a role in preventing the adverse effects of climate change by using design strategies that reduce greenhouse gas emissions and show adaptation to current and projected environmental impacts.

## Guidelines

- At least 50% of exterior space should be permeable.
- Drainage from non-permeable areas, such as driveways, should be directed to raingardens, swales or other landscaping to facilitate groundwater recharge.
- Permeable materials (structural turf, gravel, and granite crush) are encouraged for driveways and landscaping.

- Landscaped areas shall not include more than 40% turfgrass.
- Glazing and orientation for solar energy gain.
- Use drought-resistant and/or native landscaping where possible.
- Colours that support climate and energy efficiency (light colours).
- Encourage the use of innovative materials (recycled glass, reclaimed wood, low-impact concrete).
- Install low-carbon heating and cooling mechanisms.
- Consider building massing and orientation to support heating and cooling efforts naturally.
- Designs for new buildings should comply with the Energy Step Code requirements.
- Consider using on-site collection of water with the intent to gradually release it (control of surface water from site).
- Provide shaded outdoor living:
  - Consider ways of retaining trees to create shaded outdoor living areas.
  - Placement of architectural elements (i.e. roof overhang) to create shaded outdoor living areas.





